

FARGO PLANNING COMMISSION AGENDA
Tuesday, April 7, 2026 at 3:00 p.m.

A: Approve Order of Agenda

B: Minutes: Regular Meeting of March 3, 2026

C: Public Hearing Items:

1. Hearing on an application requesting a Plat of **Selkirk Place Fifth Addition** (Minor Subdivision) a replat of Lot 11, Block 1, Selkirk Place First Addition, to the City of Fargo, Cass County, North Dakota. (Located at 6648 Selkirk Drive South) (Rose Creek Development Corporation/Neset Land Surveys) (dk)
2. Hearing on an application requesting a Plat of **Simonson Companies Fifth Addition** (Minor Subdivision) a replat of Lot 2, Block 1, Simonson Companies Fourth Addition, to the City of Fargo, Cass County, North Dakota. (Located at 5237 38th Street South) (Simonson Companies, LLC/Lowry Engineering) (cl)
3. Hearing on an application requesting a Plat of **Jerstad-Thompson Second Subdivision** (Minor Subdivision) a replat of Lots 5-6, Block 3, Jerstad-Thompson First Subdivision, City of Fargo, Cass County, North Dakota. (Located at 2722 and 2748 44th Avenue North) (Prime Investments, LLC/Lowry Engineering) (ae)
4. Hearing on an application requesting Conditional Use Permit to allow manufacturing and production on the GC, General Commercial zoning district on West 37 ½ feet of Lot 1 and all of Lots 2 through 9 and rear 25 feet adjacent, Block 1, and a strip 5 feet wide adjacent to the entire North side of Block 1, less the East 12 ½ feet of Lot 1, **Reeve's Addition**. (Located at 610 University Drive North) (Class B Development, LLC/The Shop LLC) (lm)

D: Other Items:

1. Planned Unit Development Final Plan for J & O 45th Street Apartments Addition. (me)

Planning Commission meetings are broadcast live on cable channel TV Fargo 56 and can be seen live at www.FargoND.gov/streaming. They are rebroadcast each Wednesday at 8:00 a.m. and Sunday at 8:00 a.m.; and are also included in our video archive at www.FargoND.gov/PlanningCommission.

People with disabilities who plan to attend the meeting and need special accommodations should contact the Planning Office at 701.241.1474. Please contact us at least 48 hours before the meeting to give our staff adequate time to make arrangements.

Minutes are available on the City of Fargo Web site at www.FargoND.gov/planningcommission.

**BOARD OF PLANNING COMMISSIONERS
MINUTES**

Regular Meeting:

Tuesday, March 3, 2026

The Regular Meeting of the Board of Planning Commissioners of the City of Fargo, North Dakota, was held in the Commission Chambers at City Hall at 3:00 p.m., Tuesday, March 3, 2026.

The Planning Commissioners present or absent were as follows:

Present: Maranda Tasa, Scott Stofferahn, Art Rosenberg, Thomas Schmidt, Brett Shewey, Joseph Cecil, Amy Hass, Paul Gleye, Michael Betlock, Tracy Jordre

Absent: Tyler Mohs

Chair Tasa called the meeting to order.

She shared that the next Code Connect for the Land Development Code will be held on Thursday, March 5 from 12:00 p.m. to 1:00 p.m. at www.FargoLDC.org, and all are welcome to login and attend.

Business Items:

Item A: Approve Order of Agenda

Member Jordre moved the Order of Agenda be approved as presented. Second by Member Gleye. All Members present voted aye and the motion was declared carried.

Item B: Minutes: Regular Meeting of February 3, 2026

Member Stofferahn moved the minutes of the February 3, 2026 Planning Commission meeting be approved. Second by Member Schmidt. All Members present voted aye and the motion was declared carried.

Item C: Public Hearing Items:

Item 1: Commerce on 12th Ninth Addition

Hearing on an application requesting a Plat of Commerce on 12th Ninth Addition (Minor Subdivision) a replat of Lot 1, Block 1, Commerce on 12th Eighth Addition, to the City of Fargo, Cass County, North Dakota. (Located at 5627 and 5669 13th Avenue North) (NAP Dakotas, LLC/Houston Engineering): APPROVED

Planner Luke Morman presented the staff report stating all approval criteria have been met and staff is recommending approval.

Member Schmidt moved the findings and recommendations of staff be accepted and approval be recommended to the City Commission of the proposed Subdivision Plat

Commerce on 12th Ninth Addition, as outlined within the staff report, as the proposal complies with the Fargo Growth Plan 2024, the Standards of Article 20-06, Section 20-0907.B and C of the Land Development Code, and all other applicable requirements of the Land Development Code. Second by Member Hass. On call of the roll Members Shewey, Gleye, Betlock, Rosenberg, Cecil, Schmidt, Jordre, Stofferahn, Hass, and Tasa voted aye. Absent and not voting: Member Mohs. The motion was declared carried.

Item 2: Amber Valley Tenth Addition

Hearing on an application requesting a Plat of Amber Valley Tenth Addition (Minor Subdivision) a replat of Lot 1, Block 1, Amber Valley First Addition and Lot 1, Block 3, Agassiz Crossing First Addition, to the City of Fargo, Cass County, North Dakota. (Located at 2301 45th Street South and 4502 23rd Avenue South) (Newman Signs, Inc./Houston Engineering): APPROVED

Mr. Morman presented the staff report stating all approval criteria have been met and staff is recommending approval.

Member Gleye moved the findings and recommendations of staff be accepted and approval be recommended to the City Commission of the proposed Subdivision Plat Amber Valley Tenth Addition, as outlined within the staff report, as the proposal complies with the Fargo Growth Plan 2024, the Standards of Article 20-06, Section 20-0907. B and C of the Land Development Code, and all other applicable requirements of the Land Development Code. Second by Member Betlock. On call of the roll Members Rosenberg, Betlock, Hass, Cecil, Shewey, Gleye, Schmidt, Jordre, Stofferahn, and Tasa voted aye. Absent and not voting: Member Mohs. The motion was declared carried.

Item 3: Bowers Second Addition

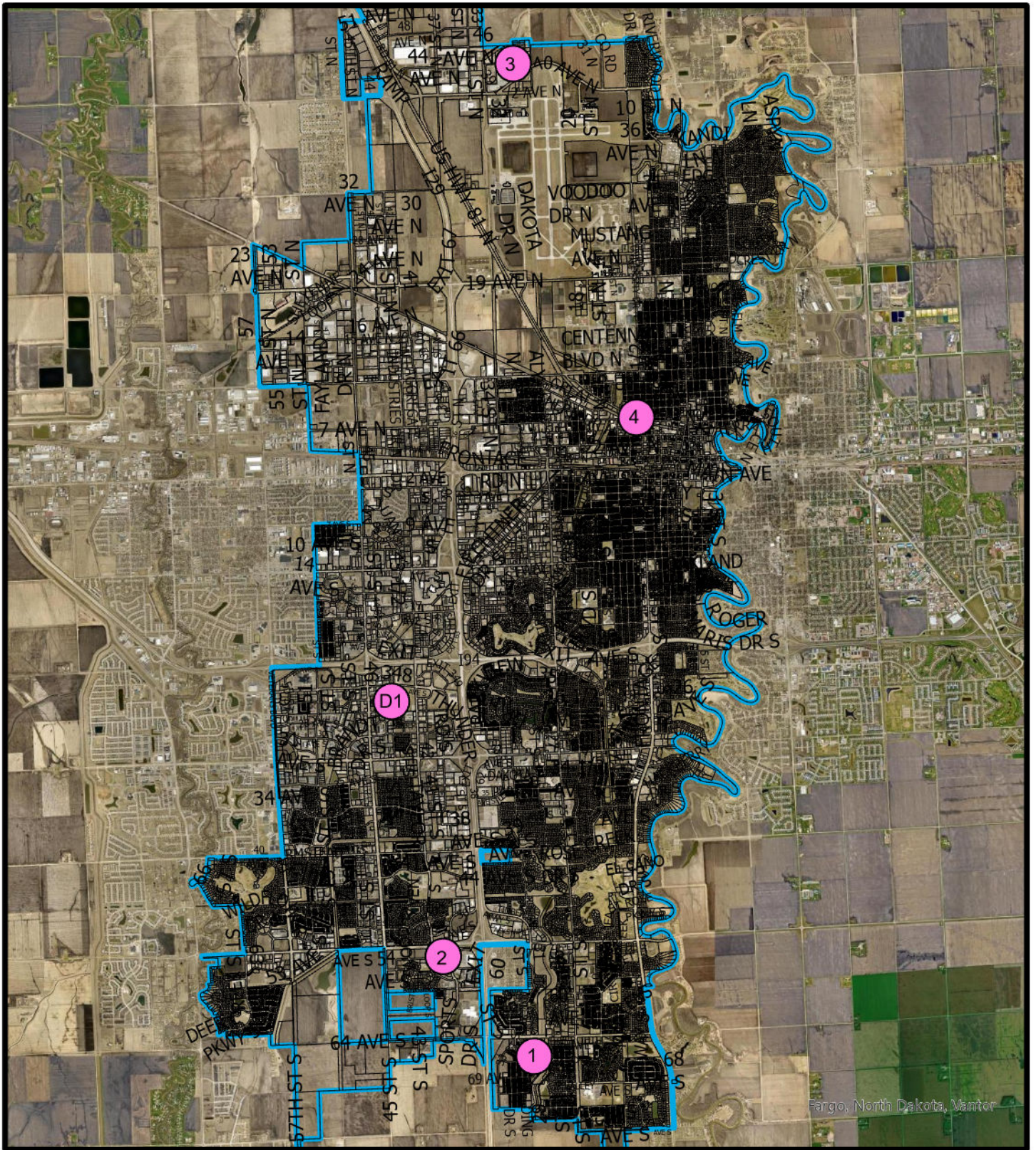
Hearing on an application requesting a Plat of Bowers Second Addition (Minor Subdivision) a replat of a portion of Block 3, Bowers Addition and a part of Auditor's Lot 6 in the Northeast Quarter of Section 1, Township 139 North, Range 49 West, of the Fifth Principal Meridian, City of Fargo, Cass County, North Dakota. (Located at 725 17th Street North) (Kota Investments, LLC/Lowry Engineering): APPROVED

Mr. Morman presented the staff report stating all approval criteria have been met and staff is recommending approval.

Member Hass moved the findings and recommendations of staff be accepted and approval be recommended to the City Commission of the proposed Subdivision Plat Bowers Second Addition, as outlined within the staff report, as the proposal complies with the Fargo Growth Plan 2024, the Core Neighborhoods Master Plan, the Standards of Article 20-06, Section 20-0907.B and C of the Land Development Code, and all other applicable requirements of the Land Development Code. Second by Member Jordre. On call of the roll Members Gleye, Schmidt, Hass, Stofferahn, Jordre, Rosenberg, Betlock,

Cecil, Shewey, and Tasa voted aye. Absent and not voting: Member Mohs. The motion was declared carried.

The time at adjournment was 3:11 p.m.



Agenda Items

- 1 - Selkirk Place Fifth Addition
- 2 - Simonson Companies Fifth Addition
- 3 - Jerstad-Thompson Second Subdivision
- 4 - Reeve's Addition

Other Items:

D1 - J & O 45th Street Apartments Addition



Agenda Items Map

Fargo Planning Commission
April 7, 2025

City of Fargo Staff Report			
Title:	Selkirk Place Fifth Addition	Date:	3/31/2026
Location:	6648 Selkirk Drive South	Staff Contact:	Donald Kress, planning coordinator
Legal Description:	Lot 11, Block 1, Selkirk Place First Addition		
Owner(s)/Applicant:	Rose Creek Development Corporation / Neseet Land Surveys	Engineer:	Neseet Land Surveys
Entitlements Requested:	Minor Subdivision (Plat of Selkirk Place Fifth Addition , a replat Lot 11, Block 1, Selkirk Place First Addition, to the City of Fargo, Cass County, North Dakota)		
Status:	Planning Commission Public Hearing: April 7 th , 2026		
Existing		Proposed	
Land Use: Platted; not developed		Land Use: Single-Dwelling Residential	
Zoning: SR-2, Single-Dwelling Residential		Zoning: No change	
Uses Allowed: Detached houses, daycare centers up to 12 children, parks and open space, religious institutions, safety services, schools, and basic utilities		Uses Allowed: No change	
Maximum Density: 5.4 dwelling units per acre		Maximum Density: No change	
Proposal:			
<p>The applicant requests one entitlement:</p> <ol style="list-style-type: none"> 1. A minor subdivision, entitled Selkirk Place Fifth Addition, a replat Lot 11, Block 1, Selkirk Place First Addition, to the City of Fargo, Cass County, North Dakota <p>This project was reviewed by the City’s Planning and Development, Engineering, Public Works, and Fire Departments (“staff”), whose comments are included in this report.</p> <p>Surrounding Land Uses and Zoning Districts:</p> <ul style="list-style-type: none"> • North: SR-2, detached single-dwelling residential uses • East: P/I, Public/Institutional, City-owned stormwater detention basin • South: SR-4, Single-Dwelling Residential; detached single-dwelling residential uses • West: SR-5-Single-Dwelling Residential; attached single dwelling residential (not yet built) <p><i>NOTE: Selkirk Place First Addition is a developing subdivision; not all lots are developed at this time.</i></p>			
Area Plans:			
Fargo Growth Plan 2024 designates the subject property as the “Urban Neighborhood” place type. The current zoning is SR-2, Single-Dwelling Residential is consistent with the Growth Plan place type designation. No zone change or land use plan amendment is proposed with this project.			
Context:			
<p>Schools: The subject property is located within the Fargo School District, specifically within the Centennial Elementary, Discovery Middle and Davies High schools.</p> <p>Parks: Prairie Farms Park, 5400 31st Street South, is located approximately 0.20 miles north of the subject property and provides amenities of basketball court, grill, picnic tables, and a shelter. This park is adjacent to a shared use path. Parks are being developed along County Drain 53, approximately 0.03 mile from the subject property, as part of Selkirk Place Third and Fourth Additions.</p>			

Pedestrian / Bicycle: There are off-road shared use paths along both sides of 64th Avenue South, approximately 350 feet north of the subject property, and along the south side of 67th Avenue South, across 67th Avenue from the subject property. These paths are part of the metro area trail system.

Neighborhood: The subject property is included in the Davies Neighborhood.

MATBUS Route: The subject property is not along a MATBus route.

Staff Analysis:

MINOR SUBDIVISION

The plat will replat one lot into five lots for single-dwelling residential development. Each lot meets the minimum dimensional standards for SR-2 zoned lots. No amenities plan or developer agreement is required.

PROPERTY HISTORY

Lot 11, Block 1 was created in the Selkirk Place First Addition (2019) as a 2.11 acre lot that would be further subdivided into smaller lots in the future. This lot was zoned SR-2, Single-Dwelling Residential, and the lots resulting from this subdivision will retain the SR-2 zoning. The five proposed lots range in area from 0.36 to 0.46 acres, with lot widths along the property frontage of approximately 96 to 102 feet.

Minor Subdivision

The LDC stipulates that the following criteria are met before a minor plat can be approved:

- 1. Section 20-0907.B.3 of the LDC stipulates that the Planning Commission recommend approval or denial of the application, based on whether it complies with the adopted Area Plan, the standards of Article 20-06 and all other applicable requirements of the Land Development Code. Section 20-0907.B.4 of the LDC further stipulates that a Minor Subdivision Plat shall not be approved unless it is located in a zoning district that allows the proposed development and complies with the adopted Area Plan, the standards of Article 20-06 and all other applicable requirements of the Land Development Code.**

The current zoning is SR-2, Single-Dwelling Residential. No zone change is proposed. This zoning is consistent with the "Urban Neighborhood" place type of the Fargo Growth Plan 2024. In accordance with Section 20-0901.F of the LDC, notices of the proposed plat have been sent out to property owners within 300 feet of the subject property. To date, Planning staff has received and responded to one inquiry from a neighbor. The project has been reviewed by the city's Planning, Engineering, Public Works, Inspections, and Fire Departments.

(Criteria Satisfied)

- 2. Section 20-0907.C.4.f of the LDC stipulates that in taking action on a Final Plat, the Board of City Commissioners shall specify the terms for securing installation of public improvements to serve the subdivision.**

While this section of the LDC specifically addresses only major subdivision plats, staff believes it is important to note that any improvements associated with the project (both existing and proposed) are subject to special assessments. Special assessments associated with the costs of the public infrastructure improvements are proposed to be spread by the front footage basis and storm sewer by the square footage basis as is typical with the City of Fargo assessment principles. Staff has determined that an amenities plan is not required. **(Criteria Satisfied)**

Staff Recommendation:

Suggested Motion: "To accept the findings and recommendations of staff and move to recommend approval to the City Commission of the proposed **Selkirk Place Fifth Addition**, as presented, as the proposal complies with the Fargo Growth Plan 2024, Standards of Article 20-06, Section 20-0907.B. and C of the LDC, and all other applicable requirements of the LDC."

Planning Commission Recommendation: April 7th, 2026

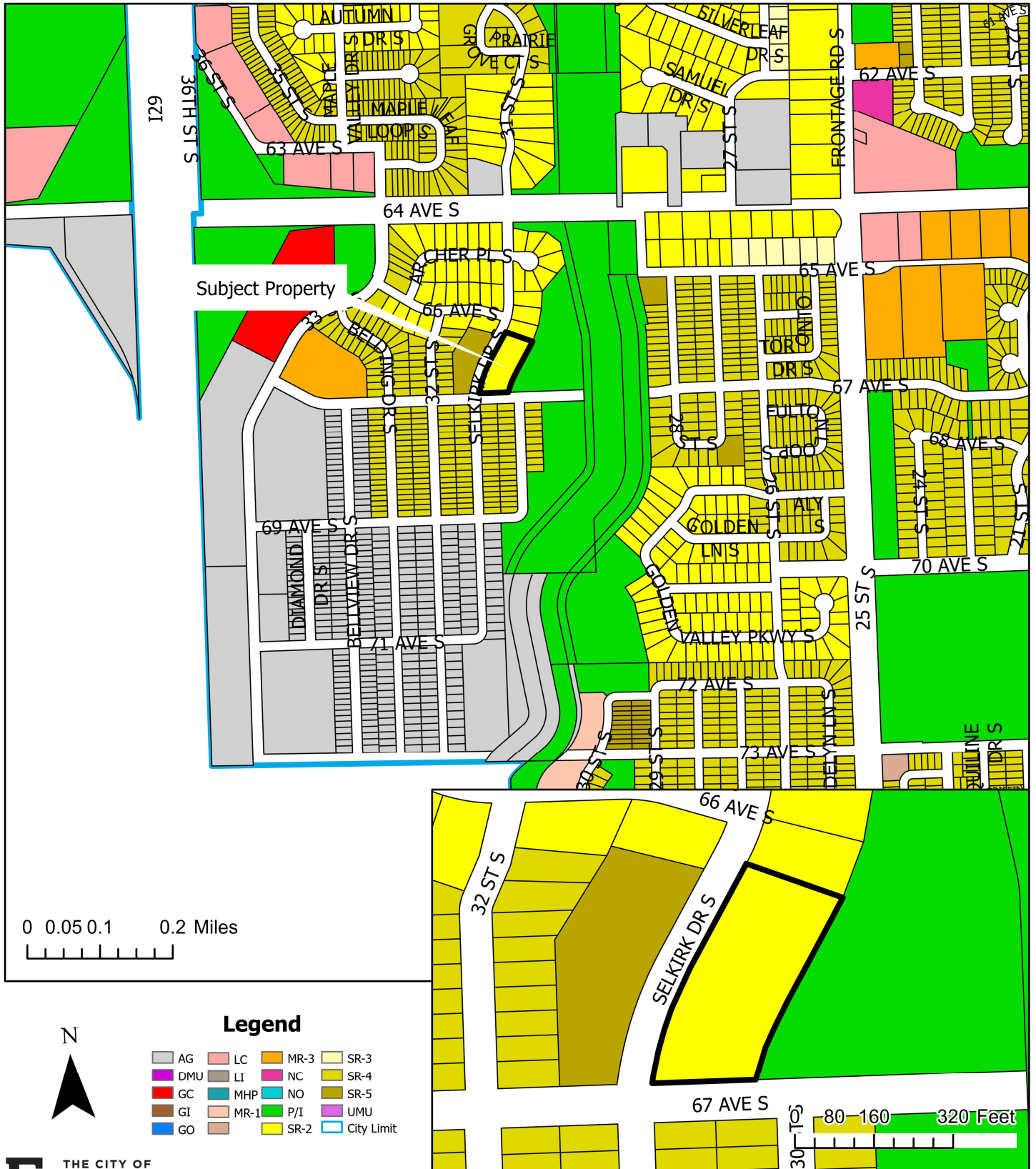
Attachments:

1. Zoning map
2. Location map
3. Preliminary plat

Minor Subdivision

Selkirk Place Fifth Addition

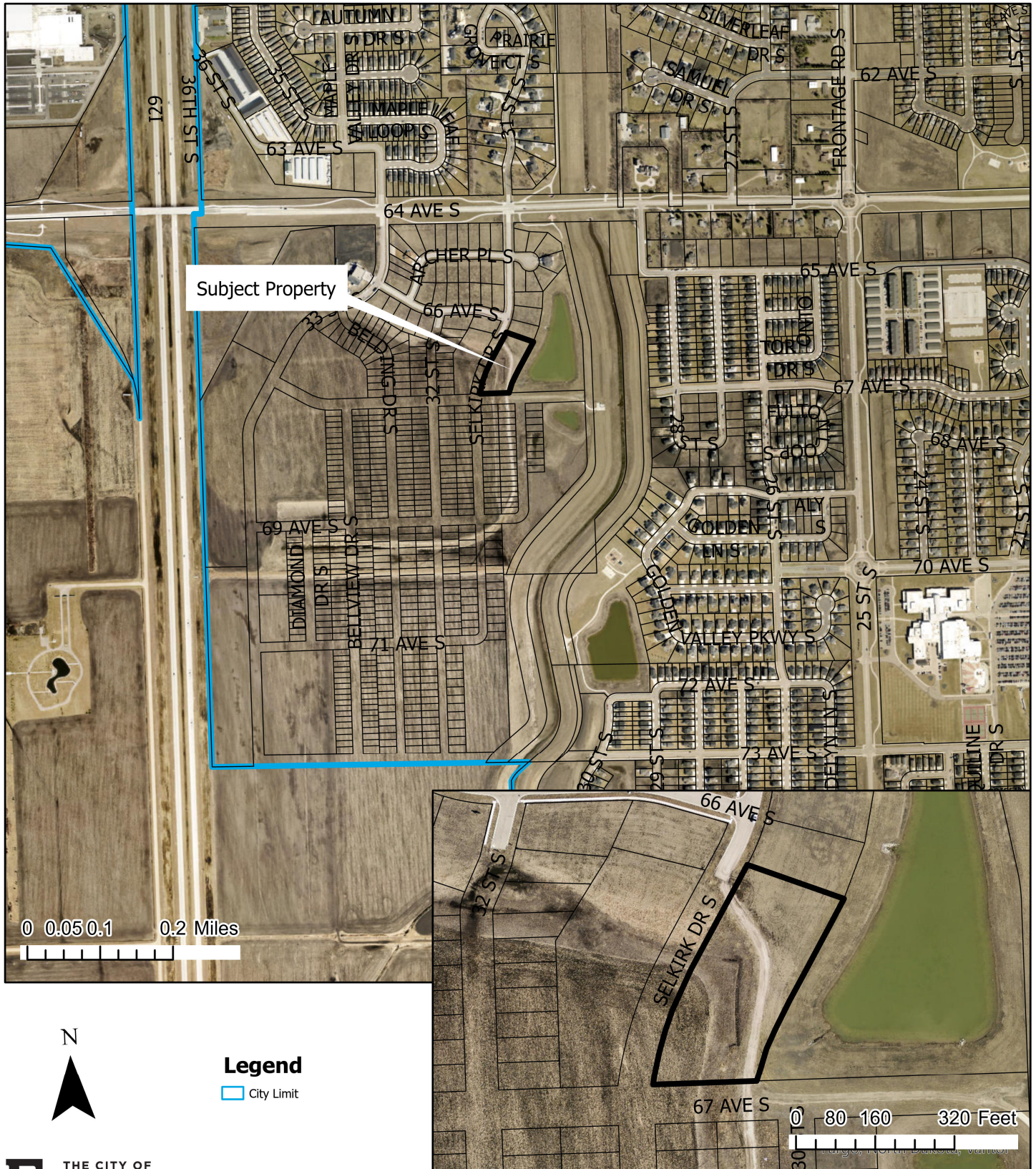
6648 Selkirk Drive South



Minor Subdivision

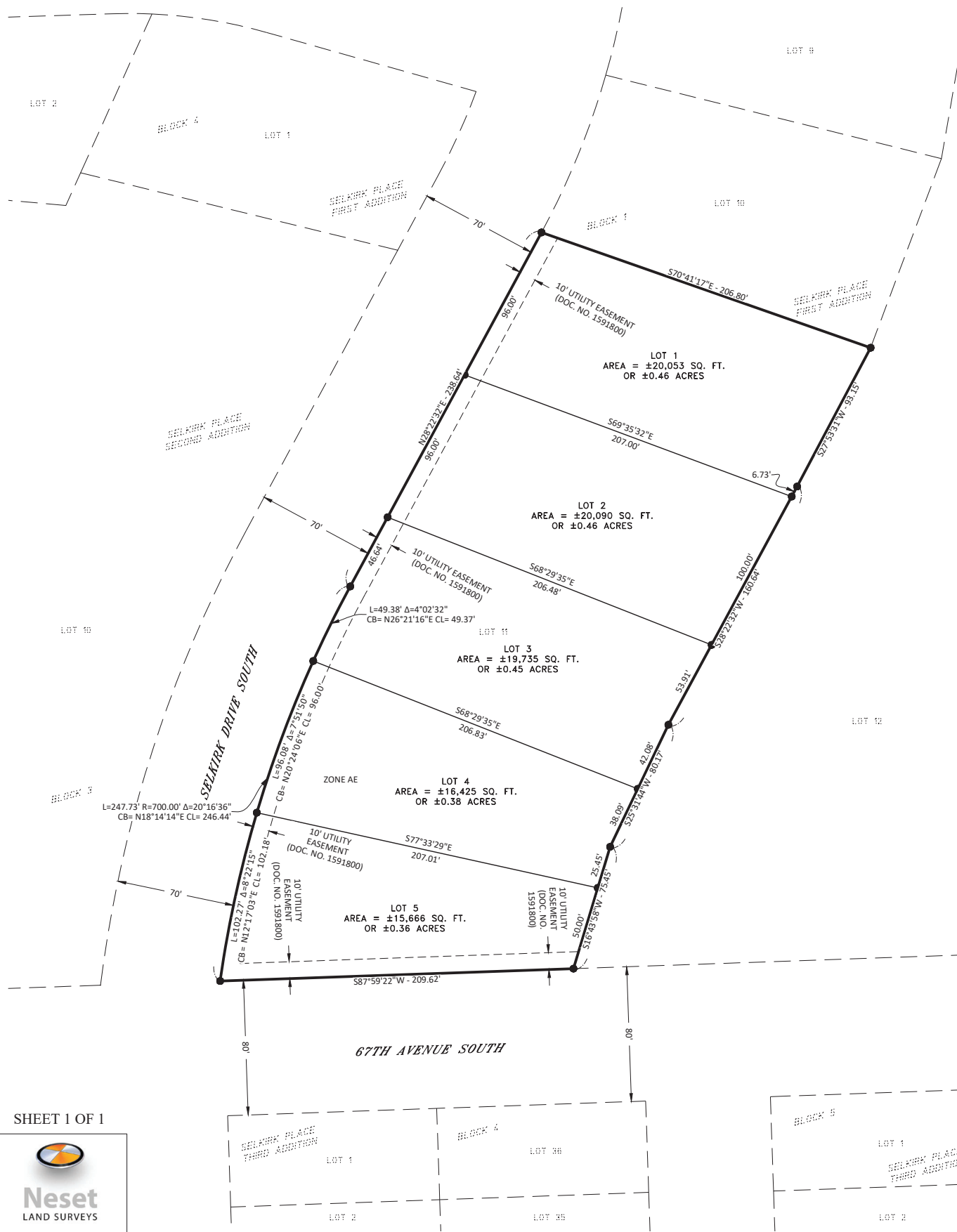
Selkirk Place Fifth Addition

6648 Selkirk Drive South



SELKIRK PLACE FIFTH ADDITION

A REPLAT OF LOT 11, BLOCK 1, OF SELKIRK PLACE FIRST ADDITION TO THE CITY OF FARGO, COUNTY OF CASS, STATE OF NORTH DAKOTA



OWNER'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS, THAT ROSE CREEK DEVELOPMENT CORPORATION, IS THE OWNER OF LOT 11, BLOCK 1, IN SELKIRK PLACE FIRST ADDITION, TO THE CITY OF FARGO, COUNTY OF CASS, STATE OF NORTH DAKOTA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 11, INCLUSIVE, IN BLOCK 1, OF SELKIRK PLACE FIRST ADDITION, TO THE CITY OF FARGO.

SAID OWNER HAS CAUSED THE ABOVE DESCRIBED TRACT OF LAND SHOWN ON THIS PLAT TO BE SURVEYED AND PLATTED AS "SELKIRK PLACE FIFTH ADDITION" TO THE CITY OF FARGO, COUNTY OF CASS, STATE OF NORTH DAKOTA. SAID OWNERS ALSO HEREBY DEDICATES AND CONVEYS TO THE PUBLIC, FOR PUBLIC USE, UTILITY EASEMENTS AND ACCESS EASEMENTS SHOWN ON SAID PLAT. SAID TRACT OF LAND CONSISTS OF 5 LOTS AND 1 BLOCK, AND CONTAINS 91,969 SQ. FT. OR 2.11 ACRES, MORE OR LESS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

EARLYNE L. HECTOR, PRESIDENT
ROSE CREEK DEVELOPMENT CORPORATION
OWNER OF LOTS 1-5, BLOCK 1

STATE OF _____)
COUNTY OF _____)SS

ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED EARLYNE L. HECTOR, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED SAME AS THEIR FREE ACT AND DEED.

NOTARY PUBLIC, COUNTY: _____ STATE: _____
MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATE

I, COLE A. NESET, REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NORTH DAKOTA, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND PLATTED THE PROPERTY DESCRIBED ON THIS PLAT AS "SELKIRK PLACE FIFTH ADDITION"; THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY; THAT ALL DISTANCES ARE SHOWN CORRECTLY ON SAID PLAT IN FEET AND HUNDRETHS OF A FOOT; THAT ALL MONUMENTS ARE OR WILL BE INSTALLED CORRECTLY IN THE GROUND AS SHOWN; AND THAT THE EXTERIOR BOUNDARY LINES ARE CORRECTLY DESIGNATED. DATED THIS _____ DAY OF _____, 20____.

COLE A. NESET,
REGISTERED LAND SURVEYOR
LS-7513

STATE OF _____)
COUNTY OF _____)SS

ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED COLE A. NESET, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED SAME AS THEIR FREE ACT AND DEED.

NOTARY PUBLIC, COUNTY: _____ STATE: _____
MY COMMISSION EXPIRES: _____

CITY ENGINEER'S APPROVAL

THIS PLAT IN THE CITY OF FARGO IS HEREBY APPROVED THIS _____ DAY OF _____, 20____.

TOM KNAKMUHS, P.E., CITY ENGINEER

STATE OF _____)
COUNTY OF _____)SS

ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED TOM KNAKMUHS, P.E., TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED SAME AS THEIR FREE ACT AND DEED.

NOTARY PUBLIC, COUNTY: _____ STATE: _____
MY COMMISSION EXPIRES: _____

SURVEY INFORMATION

DATE OF SURVEY: XXXXXX
BASIS OF BEARING: CITY OF FARGO GROUND
COORDINATE SYSTEM, DECEMBER 1992
UNIT: US SURVEY FEET

NOTES

- PROPERTY IS SITUATED IN ZONE AE (100-YEAR FLOODPLAIN) AS DEPICTED ON FEMA FIRM PANEL 38017C0787G, DATED JANUARY 16, 2015. FLOODPLAIN ELEVATION = 907.00'

CITY COMMISSION APPROVAL

THIS PLAT IN THE CITY OF FARGO IS HEREBY APPROVED THIS _____ DAY OF _____, 20____.

TIMOTHY J. MAHONEY, MAYOR

ATTEST:
ANGIE BEAR, DEPUTY AUDITOR ON BEHALF OF CITY AUDITOR

STATE OF _____ (NORTH DAKOTA)
COUNTY OF _____ (CASS))SS

ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED TIMOTHY J. MAHONEY & ANGIE BEAR, TO ME KNOWN TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED ON BEHALF OF THE CITY OF FARGO.

NOTARY PUBLIC, COUNTY: _____ CASS _____ STATE: _____ NORTH DAKOTA
MY COMMISSION EXPIRES: _____

CITY PLANNING COMMISSION APPROVAL

APPROVED BY THE CITY OF FARGO PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

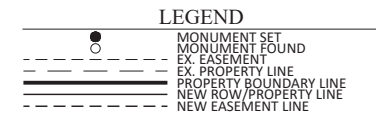
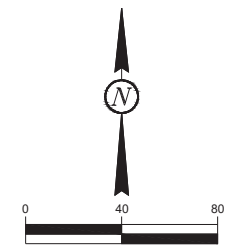
MARANDA R. TASA, CHAIR
FARGO PLANNING COMMISSION

STATE OF _____)
COUNTY OF _____)SS

ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED MARANDA R. TASA, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED SAME AS THEIR FREE ACT AND DEED.

NOTARY PUBLIC, COUNTY: _____ STATE: _____

MY COMMISSION EXPIRES: _____



FOR RECORDING PURPOSES ONLY

SHEET 1 OF 1



Neset
LAND SURVEYS

02/16/25 10:16:02AM Z:\Neset Shared Files\Projects\2025 Projects\26004_LOWRBY PROJECTS\07_LEP21403_Selkirk Replat\Selkirk Place Fifth Addition.dwg

City of Fargo Staff Report			
Title:	Simonson Companies Fifth Addition	Date:	03-31-2026
Location:	5237 38 Street South	Staff Contact:	Chelsea Levorsen, Planner
Legal Description:	Lot 2, Block 1, Simonson Companies Fourth Addition		
Owner(s)/Applicant:	Simonson Companies, LLC	Engineer:	Lowry Engineering, Inc.
Entitlements Requested:	Minor Subdivision (replat of Lot 2, Block 1 Simonson Companies Fourth Addition)		
Status:	Planning Commission Public Hearing: April 7, 2026		

Existing	Proposed
Land Use: Undeveloped	Land Use: No Change / Future Commercial
Zoning: LC, Limited Commercial with a CO, Conditional Overlay	Zoning: No Change
Uses Allowed: Allows colleges, community service, daycare centers of unlimited size, health care facilities, parks and open areas, religious institutions, safety services, basic utilities, offices, off-premise advertising , commercial parking, retail sales and service, self-storage, vehicle repair , limited vehicle service, and certain telecommunication facilities. Conditional Overlay No. 5370 prohibits certain uses as indicated above, and provides design and pedestrian connectivity standards.	Uses Allowed: No Change
Maximum Lot Coverage Allowed: Maximum 55% building coverage	Maximum Lot Coverage Allowed: No Change

Proposal:
<p>The applicant requests one entitlement:</p> <ol style="list-style-type: none"> 1. A minor subdivision, to be known as Simonson Companies Fifth Addition, a replat of Lot 2, Block 1, Simonson Companies Fourth Addition to the City of Fargo, Cass County, North Dakota <p>The subject property is located at 5237 38 Street South, and encompasses approximately 2.08 acres. This project was reviewed by the City’s Planning and Development, Engineering, Public Works, and Fire Departments (“staff”), whose comments are included in this report.</p> <p>Surrounding Land Uses and Zoning Districts:</p> <ul style="list-style-type: none"> • North: 52 Avenue South / Town & Country Credit Union, with zoning of GC, General Commercial with C-O • East: 38 Street South / Starbucks with zoning of LC, Limited Commercial with C-O • South: Undeveloped, with zoning of LC, Limited Commercial with C-O • West: Undeveloped, with zoning of LC, Limited Commercial with C-O

Area Plans:

Fargo’s Growth Plan 2024 was adopted on August 19th, 2024. The property is located within the Mixed Commercial, Office, and Residential place type. Primary uses include commercial, retail, distribution, cultural, government, civic, light manufacturing, and multi-family residential housing. This project is consistent with the future land use designation for this property.

Context:

Neighborhood: The District

Schools: The subject property is located within the Fargo School District, specifically within the Kennedy Elementary, Discovery Middle, and Davies High Schools.

Parks: The Pines Park, located at 5371 42 Avenue South, is within a quarter mile to the southwest of the property. Park Amenities include a basketball court, grills, picnic tables, two playgrounds, recreational trails, and a shelter.

Pedestrian / Bicycle: Shared-use paths border the subject property on 52nd Avenue South, 38th Street South, and 53rd Avenue South. These shared-use paths connect directly to The Pines Park and the metro area path system.

Transit: MATBUS Route 18 runs along 38th Street South on the east side of the subject property, and has a stop at Walmart, approximately 0.20 miles east of the subject property. Walmart connects to the downtown GTC, Ground Transportation Center by way of 40th avenue South, 42nd Street South, 25th Street South, and University Drive.

Staff Analysis:

Minor Subdivision:

The subdivision plat vacates a 20’ utility easement and creates a new 10’ utility easement. The re-routing of the utilities will allow for the proposed development of a gas station. The property lines are not changing.

Zoning and C-O, Conditional Overlay:

The property is zoned LC, Limited Commercial with a C-O, Conditional Overlay Ordinance No. 5370, which prohibits certain uses and provides design and pedestrian connectivity standards. This Conditional Overlay was created with Simonson Companies Second Addition and it will carry through with this subdivision. No zone changes or modification to the C-O is proposed.

Access & Amenities:

Access to the lots is provided by access easements which connect to 38th Street South and 53rd Avenue South. These easements were created with the Simonson Companies Second Addition Plat in 2020. There is no direct access to 52nd Avenue South.

Staff will update the amenities plan to specify developer considerations related to public improvements and storm water.

The LDC stipulates that the following criteria is met before a minor plat can be approved:

1. **Section 20-0907.B.3 of the LDC stipulates that the Planning Commission recommend approval or denial of the application, based on whether it complies with the adopted Area Plan, the standards of Article 20-06 and all other applicable requirements of the Land Development Code. Section 20-0907.B.4 of the LDC further stipulates that a Minor Subdivision Plat shall not be approved unless it is located in a zoning district that allows the proposed development and complies with the adopted Area Plan, the standards of Article 20-06 and all other applicable requirements of the Land Development Code.**

The current zoning for the property is LC, Limited Commercial with C-O, Conditional Overlay. No zone change or C-O modification is proposed. This zoning is consistent with the 2024 Fargo Growth Plan and the property is within the Mixed Commercial, Office, and Residential place type. The current LC zoning is consistent with these land use designations. In accordance with section 20-0901.F of the LDC, notices of the proposed plat have been sent out to property owners within 300 feet of the subject property. To date, staff has not received any inquiries about the application. The project has been reviewed by the City's Planning, Engineering, Public Works, Inspections, and Fire Departments. **(Criteria Satisfied)**

2. **Section 20-0907.C.4.f of the LDC stipulates that in taking action on a Final Plat, the Board of City Commissioners shall specify the terms for securing installation of public improvements to serve the subdivision.**

While this section of the LDC specifically addresses only major subdivision plats, staff believes it is important to note that any improvements associated with the project (both existing and proposed) are subject to special assessments. Special assessments associated with the costs of the public infrastructure improvements are proposed to be spread by the front footage basis and storm sewer by the square footage basis as is typical with the City of Fargo assessment principals. **(Criteria Satisfied)**

Staff Recommendation:

Suggested Motion: "To accept the findings and recommendations of staff and hereby recommend approval to the City Commission of the proposed subdivision plat, **Simonson Companies Fifth Addition** as outlined within the staff report, as the proposal complies with the adopted area plans, the standards of Article 20-06, Section 20-0907 B and C, and all other applicable requirements of the Land Development Code".

Planning Commission Recommendation:

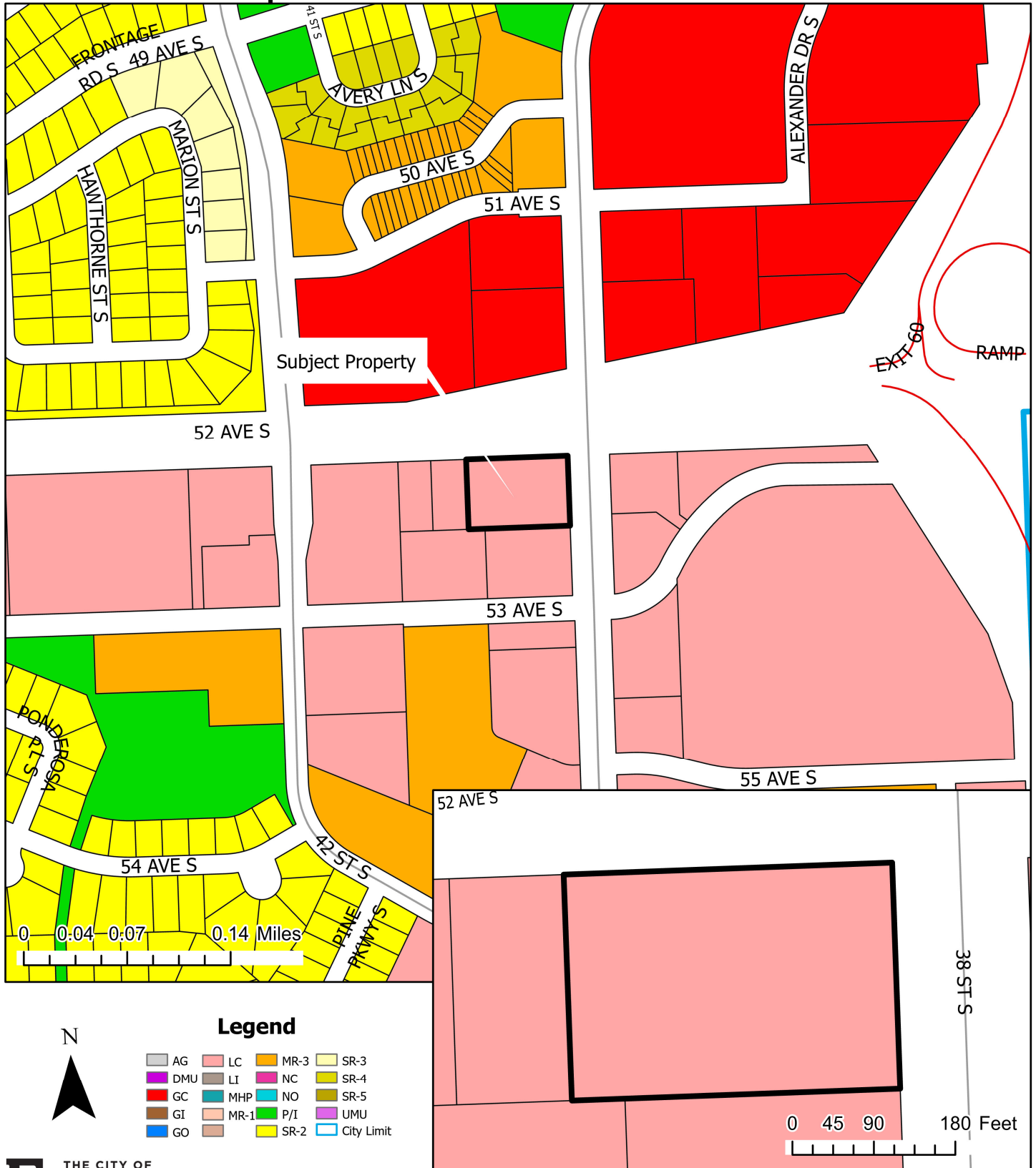
Attachments:

1. Zoning Map
2. Location Map
3. Preliminary Plat

Minor Subdivision

Simonson Companies Fifth Addition

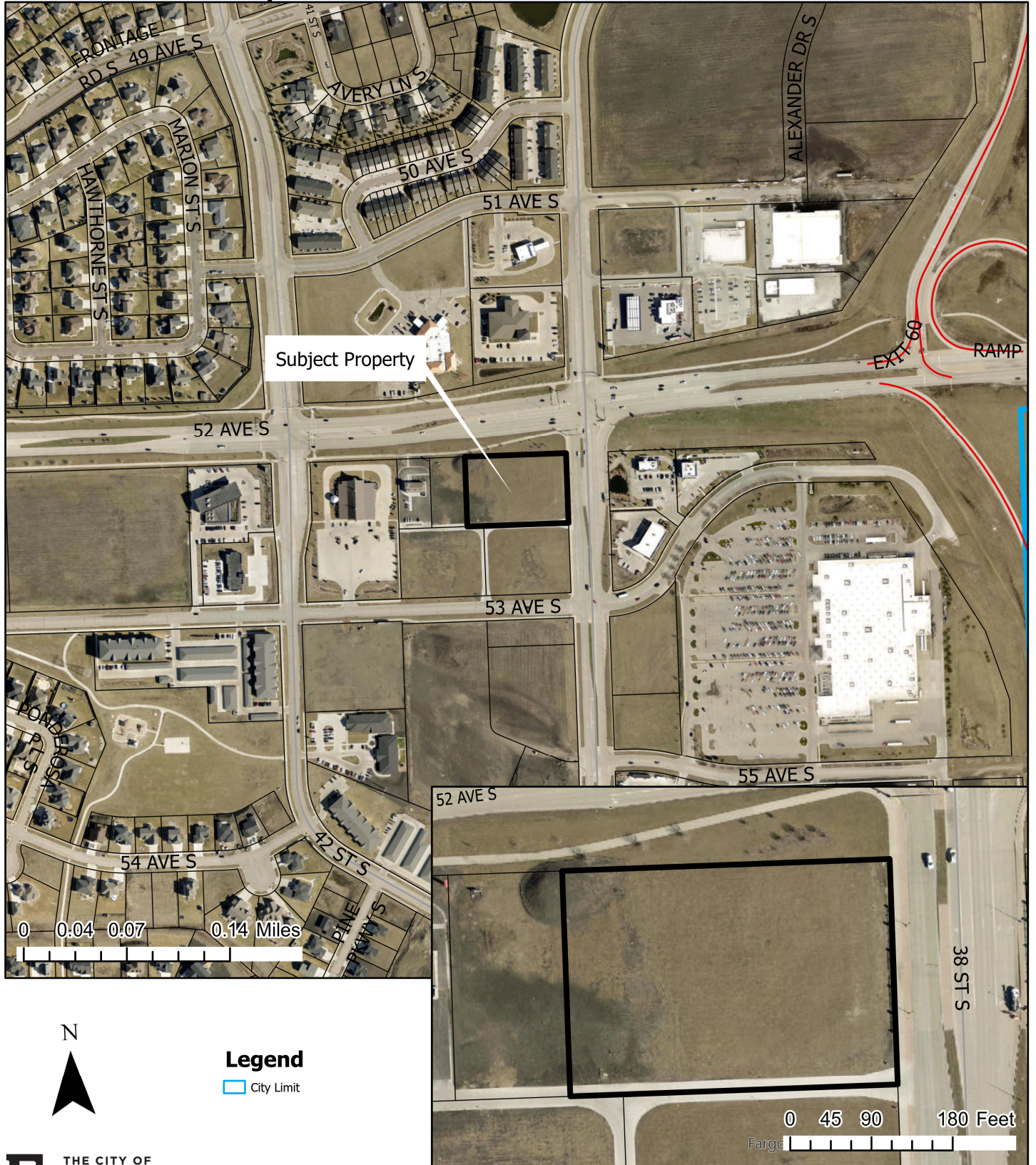
5237 38th Street South



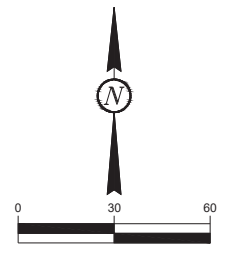
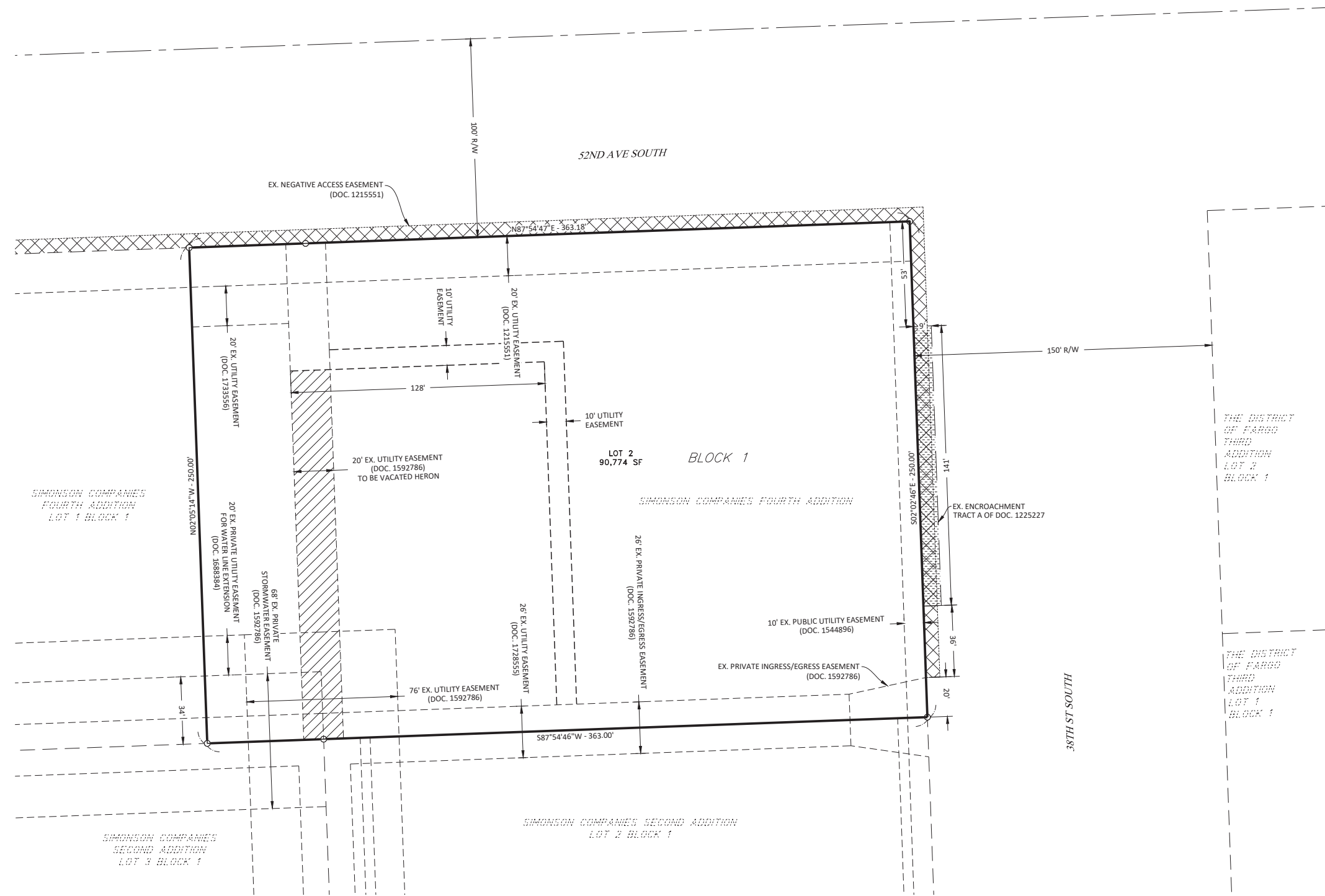
Minor Subdivision

Simonson Companies Fifth Addition

5237 38th Street South



A MINOR SUBDIVISION PLAT OF
SIMONSON COMPANIES FIFTH ADDITION
 A REPLAT OF LOT 2, BLOCK 1, SIMONSON COMPANIES FOURTH ADDITION
 TO THE CITY OF FARGO, CASS COUNTY, NORTH DAKOTA



LEGEND

●	MONUMENT SET
○	MONUMENT FOUND
- - - - -	EX. EASEMENT
- - - - -	EX. PROPERTY LINE
- - - - -	EX. SECTION LINE
—————	PROPERTY BOUNDARY LINE
- - - - -	NEW ROW/PROPERTY LINE
- - - - -	NEW EASEMENT LINE
XXXXXX	EX. NEGATIVE ACCESS EASEMENT
XXXXXX	EX. ENCROACHMENT
XXXXXX	EX. EASEMENT TO BE VACATED HERON

SURVEY INFORMATION

DATE OF SURVEY: 05-13-2022
 BASIS OF BEARING: CITY OF FARGO GROUND COORDINATE SYSTEM, DECEMBER 1992
 BENCHMARK USED: TOP NUT OF HYDRANT ON SOUTH SIDE OF LOT 2 BLOCK 1 OF SIMONSON SECOND ADDITION, ELEVATION = 910.51

NOTES

1. A NEGATIVE ACCESS EASEMENT IS AN EASEMENT WHICH DENIES DIRECT VEHICULAR ACCESS TO A STREET OR PUBLIC WAY FROM THE LOT OR LOTS ADJACENT TO SUCH STREET OR WAY. THE NEGATIVE ACCESS EASEMENT IS NOT A STRIP OF LAND OF ANY CERTAIN WIDTH, BUT IS A LINE COTERMINOUS WITH THE BOUNDARY OF THE ADJACENT LOT OR LOTS.

FOR RECORDING PURPOSES ONLY

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A MINOR SUBDIVISION PLAT OF
SIMONSON COMPANIES FIFTH ADDITION
 A REPLAT OF LOT 2, BLOCK 1, SIMONSON COMPANIES FOURTH ADDITION
 TO THE CITY OF FARGO, CASS COUNTY, NORTH DAKOTA

OWNER'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS, THAT SIMONSON COMPANIES, LLC, IS THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

LOT 2, BLOCK 1, SIMONSON COMPANIES FOURTH ADDITION TO THE CITY OF FARGO, CASS COUNTY, NORTH DAKOTA

SAID OWNER HAS CAUSED THE ABOVE DESCRIBED TRACT OF LAND SHOWN ON THIS PLAT TO BE SURVEYED AND PLATTED AS SIMONSON COMPANIES FIFTH ADDITION TO THE CITY OF FARGO, CASS COUNTY, NORTH DAKOTA. SAID OWNER ALSO HEREBY DEDICATES AND CONVEYS TO THE PUBLIC, FOR PUBLIC USE, ALL UTILITY EASEMENTS SHOWN ON SAID PLAT. SAID TRACT OF LAND, CONSISTS OF 1 LOT AND 1 BLOCK, AND CONTAINS 90,774 SF, MORE OR LESS TOGETHER WITH EASEMENTS AND RIGHT OF WAYS OF RECORD.

 SIMONSON COMPANIES, LLC
 BY: ARCH SIMONSON
 ITS: PRESIDENT

STATE OF _____)
)SS
 COUNTY OF _____)

ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED ARCH SIMONSON, PRESIDENT, SIMONSON COMPANIES, LLC, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED SAME AS THEIR FREE ACT AND DEED.

 NOTARY PUBLIC, COUNTY: _____ STATE: _____

SURVEYORS CERTIFICATE

I, COLE A. NESET, REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NORTH DAKOTA, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND PLATTED THE PROPERTY DESCRIBED ON THIS PLAT AS SIMONSON COMPANIES FIFTH ADDITION; THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY; THAT ALL DISTANCES ARE SHOWN CORRECTLY ON SAID PLAT IN FEET AND HUNDREDTHS OF A FOOT; THAT ALL MONUMENTS ARE OR WILL BE INSTALLED CORRECTLY IN THE GROUND AS SHOWN; AND THAT THE EXTERIOR BOUNDARY LINES ARE CORRECTLY DESIGNATED.
 DATED THIS _____ DAY OF _____, 20____.

 COLE A. NESET,
 REGISTERED LAND SURVEYOR
 LS-7513

STATE OF NORTH DAKOTA)
)SS
 COUNTY OF CASS)

ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED COLE A. NESET, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED SAME AS THEIR FREE ACT AND DEED.

 NOTARY PUBLIC, COUNTY: CASS STATE: NORTH DAKOTA

CITY ENGINEER'S APPROVAL

THIS PLAT IN THE CITY OF FARGO IS HEREBY APPROVED THIS _____ DAY OF _____, 20____.

 TOM KNAKMUHS, P.E.
 CITY ENGINEER

STATE OF _____)
)SS
 COUNTY OF _____)

ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED TOM KNAKMUHS, P.E., TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED SAME AS THEIR FREE ACT AND DEED.

 NOTARY PUBLIC, COUNTY: _____ STATE: _____

CITY COMMISSION APPROVAL

APPROVED BY THE BOARD OF CITY COMMISSIONERS AND ORDED FILED THIS _____ DAY OF _____, 20____.

 TIMOTHY J. MAHONEY
 MAYOR

ATTEST: _____
 ANGIE BEAR
 DEPUTY AUDITOR ON BEHALF OF CITY AUDITOR

STATE OF NORTH DAKOTA)
)SS
 COUNTY OF CASS)

ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED TIMOTHY J. MAHONEY & ANGIE BEAR, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED SAME AS THEIR FREE ACT AND DEED.

 NOTARY PUBLIC, COUNTY: _____ STATE: _____

CITY PLANNING COMMISSION APPROVAL

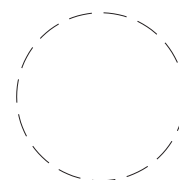
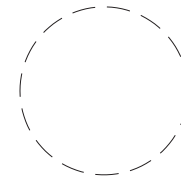
THIS PLAT IN THE CITY OF FARGO IS HEREBY APPROVED THIS _____ DAY OF _____, 20____.

 MARANDA R. TASA, CHAIR
 FARGO PLANNING COMMISSION

STATE OF _____)
)SS
 COUNTY OF _____)

ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED MARANDA R. TASA, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED SAME AS THEIR FREE ACT AND DEED.

 NOTARY PUBLIC, COUNTY: _____ STATE: _____



FOR RECORDING PURPOSES ONLY

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City of Fargo Staff Report			
Title:	Jerstad-Thompson Second Subdivision	Date:	4/1/2026
Location:	2722 and 2748 44 th Avenue North	Staff Contact:	Alayna Espeseth, Assistant Planner
Legal Description:	Lots 5 & 6, Block 3 of Jerstad-Thompson Subdivision		
Owner(s)/Applicant:	Dean R. Sloten Trust and Prime Investments, LLC	Engineer:	Lowry Engineering
Entitlements Requested:	Minor Subdivision (Replat of Lots 5 & 6, Block 3 of Jerstad-Thompson Subdivision)		
Status:	Planning Commission Public Hearing: April 7 th , 2026		

Existing	Proposed
Land Use: Industrial uses	Land Use: No Change
Zoning: LI, Limited Industrial	Zoning: No Change
Uses Allowed: Allows colleges, community service, daycare centers of unlimited size, detention facilities, health care facilities, parks and open areas, religious institutions, safety services, basic utilities, adult establishment, offices, off-premise advertising signs, commercial parking, outdoor recreation and entertainment, retail sales and service, self-service storage, vehicle repair, limited vehicle service, industrial service, manufacturing and production, warehouse and freight movement, wholesale sales, aviation, surface transportation, and certain telecommunications facilities.	Uses Allowed: No Change
Maximum Lot Coverage Allowed: 85%	Maximum Lot Coverage Allowed: No Change

Proposal:
<p>The applicant requests one entitlement:</p> <ol style="list-style-type: none"> 1. Minor Subdivision, entitled <i>Jerstad-Thompson Second Subdivision</i>, a replat of lots 5 & 6, Block 3 Jerstad-Thompson Subdivision. <p>Surrounding Land Uses and Zoning Districts:</p> <ul style="list-style-type: none"> • North: Limited Industrial with industrial uses; • East: Limited Industrial with industrial uses; • South: Limited Industrial with industrial uses; • West: Limited Industrial with industrial uses.

Area Plans:

The 2024 Fargo Growth Plan depicts the place type designation as “General Industrial and Flex Warehouse.” Primary uses within this place type are light and general industrial and flex warehouse. Secondary uses are commercial uses specifically related to the primary use. The current zoning is consistent with this place type.

Context:

Schools: The subject property is located within the Fargo School District and is served by Washington Elementary, Benjamin Franklin Middle and Fargo North High schools.

Neighborhood: The subject property is not located within a designated neighborhood.

Parks: The North Softball Complex is approximately 3 miles northwest of the subject property.

Pedestrian / Bicycle: There are no on-road or off-road bike facilities adjacent to this property.

MATBUS Route: The subject property is not on a MATBUS route at this time.

Staff Analysis:

The applicant is seeking approval for a minor subdivision located at 2722 and 2748th 44 Street North and encompasses 1.45 acres of land. The request is to combine Lots 5 & 6, Block 3 of Jerstad-Thompson Subdivision into a 1 Lot, 1 Block minor subdivision entitled **Jerstad-Thompson Second Subdivision**. Even though this property is within city limits, it is designated as “subdivision” in order to be consistent with the name of the original plat. Both properties are currently zoned LI, Limited Industrial and no zone change is proposed.

A proximity agreement for the subdivision is being reviewed by the City of Fargo staff and property owners. This is a standard agreement between the City of Fargo and owners of property in close proximity to Hector International Airport and the overflow sewage lagoons. With this agreement, the property owners acknowledge the existence of these facilities and the potential for aircraft noise and sewage odor. The City Commission will take final action on this agreement.

This project was reviewed by the City’s Planning and Development, Engineering, Public Works, and Fire Departments (“staff”), whose comments are included in this report.

Minor Subdivision

The LDC stipulates that the following criteria is met before a minor plat can be approved:

- 1. Section 20-0907.B.3 of the LDC stipulates that the Planning Commission recommend approval or denial of the application, based on whether it complies with the adopted Area Plan, the standards of Article 20-06 and all other applicable requirements of the Land Development Code. Section 20-0907.B.4 of the LDC further stipulates that a Minor Subdivision Plat shall not be approved unless it is located in a zoning district that allows the proposed development and complies with the adopted Area Plan, the standards of Article 20-06 and all other applicable requirements of the Land Development Code.**

The requested minor subdivision combines two existing lots into a single lot for industrial use. The current zoning is LI, Limited Industrial. No zone change is proposed. The 2024 Fargo Growth Plan depicts the place type designation as “General Industrial and Flex Warehouse.” In accordance with Section 20-0901.F of the LDC, notices of the proposed plat have been sent out to property owners within 300 feet of the subject property. To date, staff has received no inquiries about the application. Staff has reviewed this request and finds that this application complies with

standards of Article 20-06 and all applicable requirements of the Land Development Code.
(Criteria Satisfied)

- 2. Section 20-907.C.4.f of the LDC stipulates that in taking action on a Final Plat, the Board of City Commissioners shall specify the terms for securing installation of public improvements to serve the subdivision.**

While this section of the LDC specifically addresses only major subdivision plats, staff believes it is important to note that any improvements associated with the project (both existing and proposed) are subject to special assessments. Special assessments associated with the costs of the public infrastructure improvements are proposed to be spread by the front footage basis and storm sewer by the square footage basis as is typical with the City of Fargo assessment principles.

(Criteria Satisfied)

Staff Recommendation:

Suggested Motion: "To accept the findings and recommendations of staff and hereby recommend approval to the City Commission of the proposed subdivision plat, **Jerstad-Thompson Second Subdivision** as outlined within the staff report, as the proposal complies with the adopted 2024 Fargo Growth Plan, the standards of Article 20-06, Section 20-0907.B. and C. and all other applicable requirements of the Land Development Code".

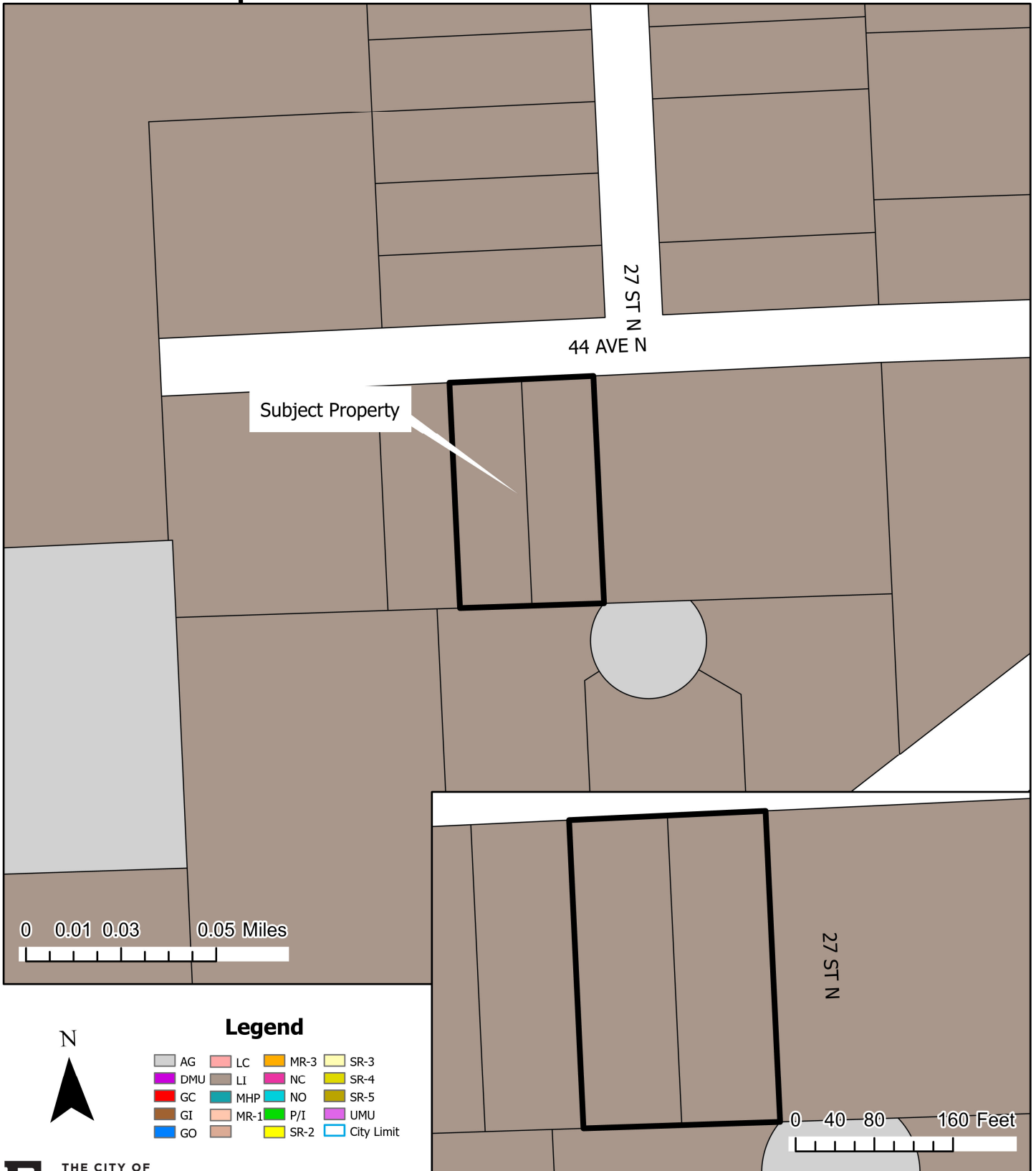
Planning Commission Recommendation: April 7, 2026

Attachments:

1. Zoning Map
2. Location Map
3. Preliminary Plat

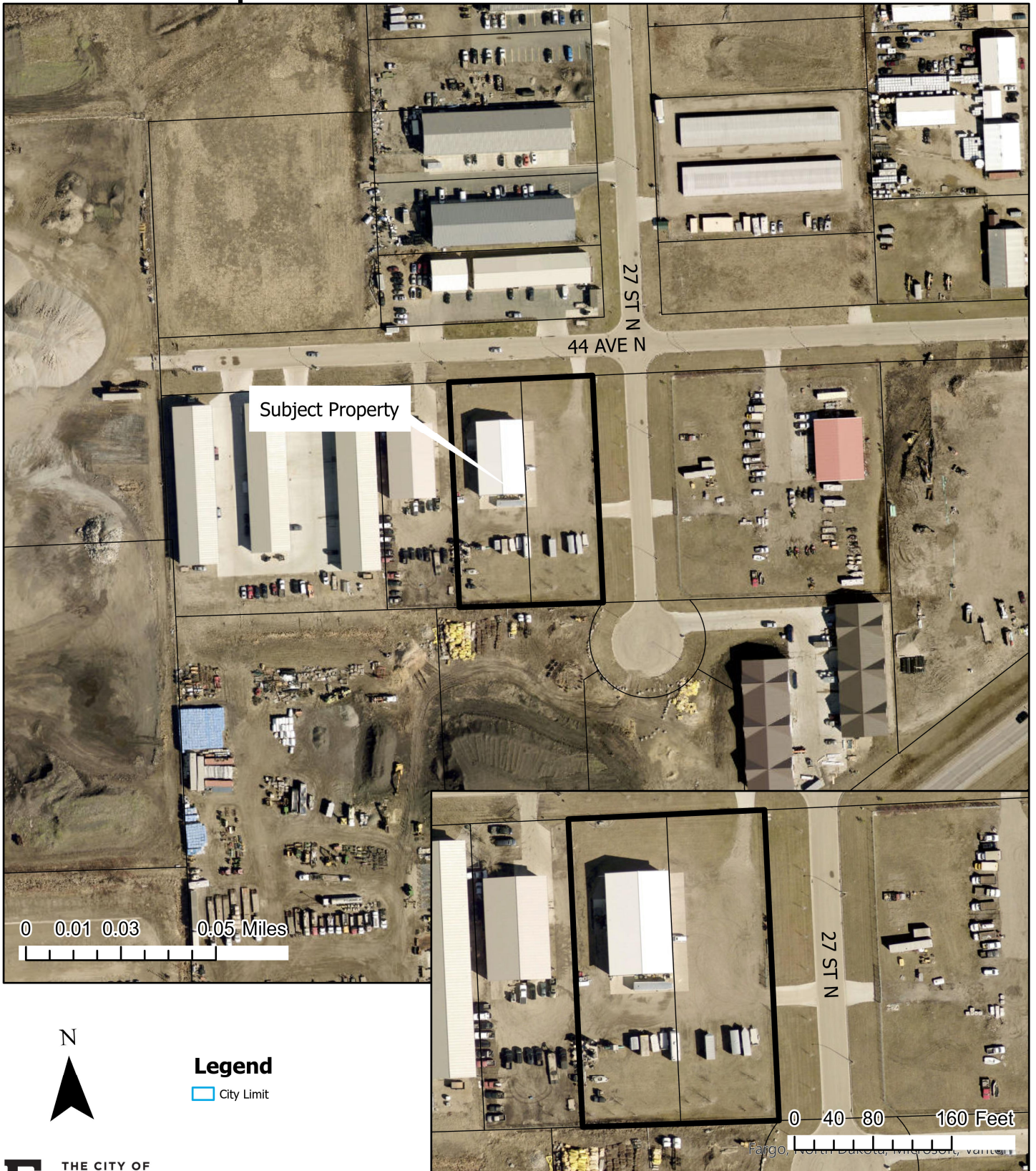
Minor Subdivision

Jerstad Thompson Second Subdivision 2722 and 2748 44th Avenue North



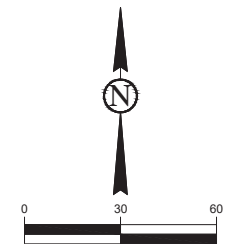
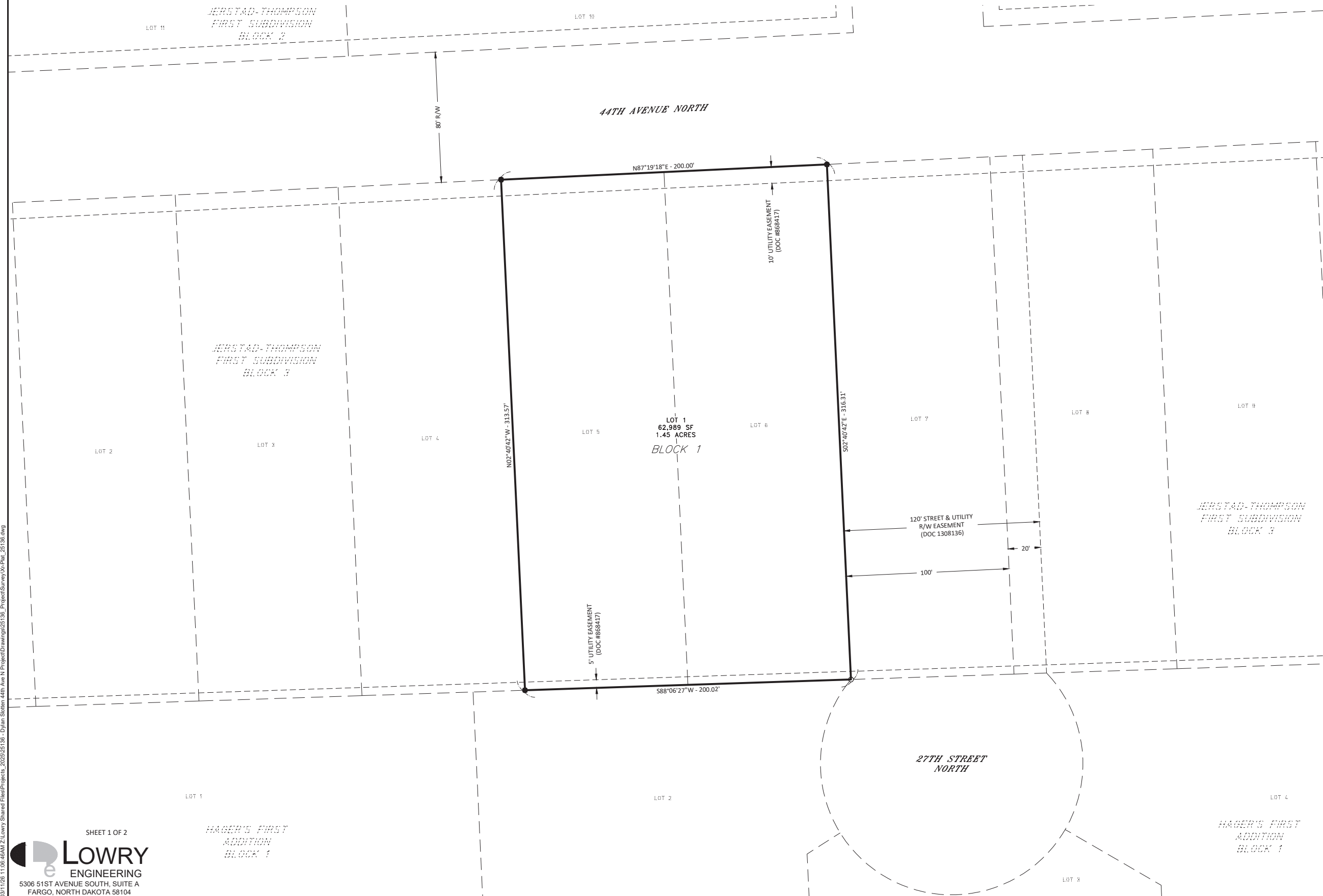
Minor Subdivision

Jerstad Thompson Second Subdivision 2722 and 2748 44th Avenue North



JERSTAD-THOMPSON SECOND SUBDIVISION

A REPLAT OF LOTS 5 & 6, BLOCK 3, JERSTAD-THOMPSON FIRST SUBDIVISION IN THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 14,
TOWNSHIP 140 NORTH, RANGE 49 WEST OF THE FIFTH PRINCIPAL MERIDIAN, TO THE CITY OF FARGO, CASS COUNTY, NORTH DAKOTA
(A MINOR SUBDIVISION)



LEGEND

●	MONUMENT SET
○	MONUMENT FOUND
R/W	RIGHT OF WAY
---	EX. EASEMENT
---	EX. PROPERTY LINE
---	EX. SECTION LINE
---	PROPERTY LINE
---	PROPERTY BOUNDARY LINE
---	NEW EASEMENT LINE

SURVEY INFORMATION
 DATE OF SURVEY: DECEMBER, 2025
 BASIS OF BEARING: CITY OF FARGO GROUND COORDINATE SYSTEM,
 DECEMBER 1992, US SURVEY FOOT
 VERTICAL DATUM: NAVD88

NOTES
 1. ALL DISTANCES ARE GROUND DISTANCES, US SURVEY FOOT.

FOR RECORDING PURPOSES ONLY

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City of Fargo Staff Report			
Title:	Reeve's Addition	Date:	04/01/2026
Location:	610 University Drive North	Staff Contact:	Luke Morman, Planner
Legal Description	West 37 ½ feet of Lot 1 and all of Lots 2 through 9 and rear 25 feet adjacent, Block 1, and a strip 5 feet wide adjacent to the entire North side of Block 1, less the East 12 ½ feet of Lot 1, Reeve's Addition		
Owner(s)/Applicant:	Class B Development LLC/Dawson Schefter	Engineer:	N/A
Entitlements Requested:	Conditional Use Permit (to allow Manufacturing and Production in the GC, General Commercial zone)		
Status:	Planning Commission Public Hearing: April 7 th , 2026		

Existing	Proposed
Land Use: Commercial	Land Use: Unchanged
Zoning: GC, General Commercial	Zoning: GC, General Commercial with a CUP for manufacturing and production in the GC zone.
<p>Uses Allowed: GC allows colleges, community service, daycare centers of unlimited size, detention facilities, health care facilities, parks and open space, religious institutions, safety services, basic utilities, adult establishments, offices, off-premise advertising, commercial parking, outdoor recreation and entertainment, retail sales and service, self-service storage, vehicle repair, limited vehicle service, and certain telecommunication facilities.</p> <p>CUP 2019-003 to allow an Alternative Access Plan. (See note below in Staff Analysis section).</p>	<p>Uses Allowed: GC allows colleges, community service, daycare centers of unlimited size, detention facilities, health care facilities, parks and open space, religious institutions, safety services, basic utilities, adult establishments, offices, off-premise advertising, commercial parking, outdoor recreation and entertainment, retail sales and service, self-service storage, vehicle repair, limited vehicle service, and certain telecommunication facilities.</p> <p>The Conditional Use Permit will allow manufacturing and production in the GC, General Commercial zone, in addition to the other permitted uses listed above.</p>
Maximum Lot Coverage: Maximum 85% building coverage	Maximum Lot Coverage: No change

Proposal:

The applicant requests a **Conditional Use Permit (CUP)** to allow Manufacturing and Production uses in the GC, General Commercial zone.



Figure 1: Preliminary Site Plan

The applicant proposes to renovate the existing building to be used as a sign manufacturing company, coffee shop, and offices. Aside from the proposed CUP, a building permit will be required to review applicable Land Development Code (LDC) requirements such as Section 20-0402.R and Residential Protection Standards (RPS), along with other City Department code reviews.

This project was reviewed by the City's Planning and Development, Engineering, Public Works, and Fire Departments ("staff"), whose comments are included in this report.

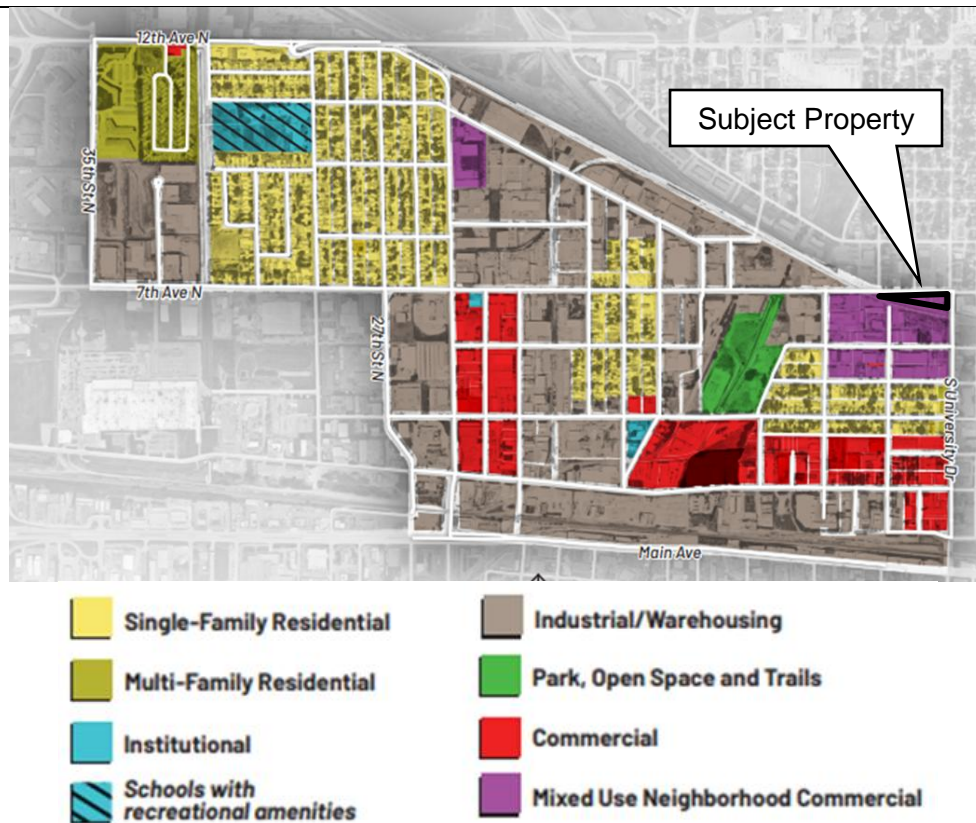
Surrounding Land Uses and Zoning Districts:

- North: Across 7th Avenue North, LI, Limited Industrial, with household living, warehouse, and retail sales and service, LC, Limited Commercial, with retail sales and service, and GC, General Commercial, with retail sales and service.
- East: Across University Drive North, DMU, Downtown Mixed-Use, owned by Fargo Park District.
- South/west: Across BNSF railroad tracks, GC, General Commercial, with warehouse, and DMU, Downtown Mixed-Use, with outdoor recreation and entertainment and household living.

Area Plans:

Fargo's Growth Plan 2024 was adopted on August 19th, 2024. This project is consistent with the place type designation of "Transitional Industrial/Commercial" for this property. The Growth Plan describes primary uses for this place type as "light industrial, makerspace."

The subject property is located within the 2021 Core Neighborhoods Master Plan. This plan designates the subject property as Mixed Use Neighborhood Commercial use. The existing GC, General Commercial, zoning and proposed manufacturing and production, retail sales and service, and office uses are consistent with this land use designation.



Context:

Schools: The subject property is located within the Fargo School District and is served by Horace Mann/Roosevelt Elementary, Ben Franklin Middle, and North High schools.

Neighborhood: The subject property is located within the Madison Unicorn Park Neighborhood. To the north across 7th Avenue North is Roosevelt/NDSU Neighborhood and to the east across University Drive South is the Downtown Neighborhood.

Parks: Johnson Soccer Complex, located at 420 11th Avenue North, provides amenities of picnic tables, playground for ages 2-5, restrooms, a shelter, soccer fields, and warming houses. Unicorn Park, located at 1603 3rd Avenue North provides amenities of basketball courts, grills, picnic tables, a playground for ages 5-12, recreational trails, and warming houses. Both parks are approximately within a quarter of a mile from the subject property.

Pedestrian / Bicycle: There are no trails within a quarter mile of the subject property.

Bus Route: MATBUS Routes 13 and 33 run along University Drive North and Route 17 runs along 3rd Avenue North. There are several bus stops within a quarter mile of the subject property on each route.

Staff Analysis:

Overview

The applicant is proposing to renovate the existing building to be used as manufacturing and production, retail sales and service, and office. These will specifically be a sign manufacturing company and a separate space for a coffee shop.

Industrial Uses in General Commercial Zoning

The proposed scope of work is all internal to the existing building besides painting the building, moving the dumpster into a fenced-in area, and adding landscaping between the parking lot and north property

line. Manufacturing and production occurred at the site which was associated with retail sales and service for Fargo Brewing up until recently. The proposed CUP will continue the manufacturing and production use. Additionally, Section 20-0402.R.1.e. notes that Residential Protection Standard's (RPS) landscape buffers apply to properties within 600 feet of residential zones, however, due to the limited visibility from the residential zones to the subject property, no additional RPS landscape buffer is required. Certain RPS protections are also included through the conditions of the CUP.

Project Note

The existing CUP (No. 2019-003) for an Alternative Access Plan for a parking reduction was previously approved in 2019 for a specific user that is no longer at this location, therefore, it will no longer be in effect.

Approval and Appeal

The Planning Commission is the final decision maker for CUP's. Any appeal of the Planning Commission's decision goes to the City Commission. Pursuant to LDC Section 20-0903(B), appeals of final decisions must be filed within 10 days of the date of the decision.

Conditional Use Permit Approval Criteria (Section 20-0909.D)

The following is a list of criteria that must be determined satisfied in order for a Conditional Use Permit to be approved:

1. Does the proposed conditional use comply with all applicable provisions of the LDC and will it conform to the general intent and purpose of this LDC?

The purpose of the LDC is to implement Fargo's Comprehensive Plan in a way that will protect the general health, safety, and welfare of the citizens. Staff believes this proposal is in keeping with adopted plans and policies of the City. The CUP would allow for manufacturing and production uses and additional conditions will be added to ensure that this project is developed in a manner that is appropriate to the context of the surrounding properties. Staff finds this proposal is consistent with the purpose of the LDC and other adopted policies of the City.

(Criteria Satisfied)

2. Will the proposed conditional use at the specified location contribute to and promote the welfare or convenience of the public?

Staff believes that the location of the proposed conditional use will contribute and promote the welfare and convenience of the public. Staff is proposing conditions which would address potential negative impacts of the proposed uses but that also allow the public to utilize the convenience of future businesses.

(Criteria Satisfied)

3. Will the proposed conditional use cause substantial injury to the value of other property in the neighborhood in which it is to be located?

Staff has no data to suggest that the proposed use would cause substantial injury to the value of other property in the neighborhood. In accordance with Section 20-0901.F of the LDC, notices of the CUP were sent out to property owners within 300 feet of the subject property. To date, staff has received and responded to one comment.

(Criteria Satisfied)

4. Is the location and size of the conditional use, the nature and intensity of the operation conducted in connection with it, and the location of the site with respect to streets giving access to it such that the conditional use will not dominate the immediate neighborhood so as to prevent the development and use of the neighboring property in accordance with the applicable zoning district regulations? In considering this criteria, location, nature, and height of buildings, structures, walls, and fences on the site are to be considered, as well as the nature and extent of proposed landscaping and buffering on the site.

Staff does not believe that the location, size, nature or intensity of the use will prevent development and use of neighboring property in accordance with applicable zoning districts. The manufacturing and production uses take place inside the existing building and more screening is required with the proposed CUP conditions. In addition to these conditions, the Industrial Uses in General Commercial Zoning standards of Section 20-0402.R, apply to industrial uses in the GC zoning district and provide for additional protection of the surrounding area.

(Criteria Satisfied)

5. Are adequate utility, drainage, and other such necessary facilities and services provided or will they be at the time of development?

Staff is not aware of any deficiencies regarding drainage or utilities that would limit the ability of the applicant to utilize the property as proposed. In addition, the requested CUP has been reviewed by staff from other applicable departments and no concerns have been raised. Based on this information, staff finds that adequate utility, drainage, and other such necessary facilities and services are in place.

(Criteria Satisfied)

6. Have adequate access roads or entrances and exit drives been provided and are they designed to prevent traffic hazards and to minimize traffic congestion in public streets?

There are two driveways existing on the subject property and no new driveways are proposed. The Engineering Department has had an opportunity to review the proposal and no comments or concerns have been forthcoming to indicate that there is a deficiency with the access roads or entrances and exit drives. To that end, staff finds that the proposed conditional use will not create traffic hazards or traffic congestion in the public streets.

(Criteria Satisfied)

Recommended Conditions:

Planning staff has developed standard conditions for industrial uses in the GC zone. Staff recommends these conditions, stated below, as part of this CUP. Additionally, all applicable sections of the LDC apply to industrial uses in the GC, including, but not limited to, the Industrial Uses in General Commercial Zoning standards of Section 20-0402.R.

1. The property shall not be used in whole or in part for storage of rubbish or debris of any kind whatsoever nor for the storage of any property or items that will cause such lot to appear untidy, unclean or unsightly as determined by the Zoning Administrator; nor shall any substance, item or material be kept on any lot that will emit foul odors, including compost sites and fertilizer.
2. All refuse containers, including dumpsters, shall be concealed from public view by opaque fence, screen wall, or building extension.
3. No outdoor storage of equipment or supplies.
4. Off-street parking, loading, and vehicular circulation areas shall have an all-weather surface, as defined by the Land Development Code.
5. The manufacturing, production, or processing of food and/or animal products or hazardous chemicals and/or materials shall not be permitted.
6. A parking lot buffer shall be installed and maintained in accordance with LDC Section 20-0705.D.3.
7. Future permits are generally consistent with the site plan and information provided at the April 7th, 2026 Planning Commission meeting. Changes may require review by the Planning Commission as determined by Planning staff.

8. The Conditional Use Permit shall terminate if Manufacturing and Production uses cease for a period of more than 12 consecutive months.

Staff Recommendation:

Suggested Motion: "To accept the findings and recommendations of staff and move to recommend approval of the conditional use permit to allow Manufacturing and Production uses in the GC, General Commercial zoning district on the West 37 ½ feet of Lot 1 and all of Lots 2 through 9 and rear 25 feet adjacent, Block 1, and a strip 5 feet wide adjacent to the entire North side of Block 1, less the East 12 ½ feet of Lot 1, **Reeve's Addition** as presented, as the proposal complies with the 2024 Growth Plan, 2021 Core Neighborhoods Plan, Standards of Section 20-0909.D, and all other applicable requirements of the LDC, with the following conditions:

1. The property shall not be used in whole or in part for storage of rubbish or debris of any kind whatsoever nor for the storage of any property or items that will cause such lot to appear untidy, unclean or unsightly as determined by the Zoning Administrator; nor shall any substance, item or material be kept on any lot that will emit foul odors, including compost sites and fertilizer.
2. All refuse containers, including dumpsters, shall be concealed from public view by opaque fence, screen wall, or building extension.
3. No outdoor storage of equipment or supplies.
4. Off-street parking, loading, and vehicular circulation areas shall have an all-weather surface, as defined by the Land Development Code.
5. The manufacturing, production, or processing of food and/or animal products or hazardous chemicals and/or materials shall not be permitted.
6. A parking lot buffer shall be installed and maintained in accordance with LDC Section 20-0705.D.3.
7. Future permits are generally consistent with the site plan and information provided at the April 7th, 2026 Planning Commission meeting. Changes may require review by the Planning Commission as determined by Planning staff.
8. The Conditional Use Permit shall terminate if Manufacturing and Production uses cease for a period of more than 12 consecutive months.

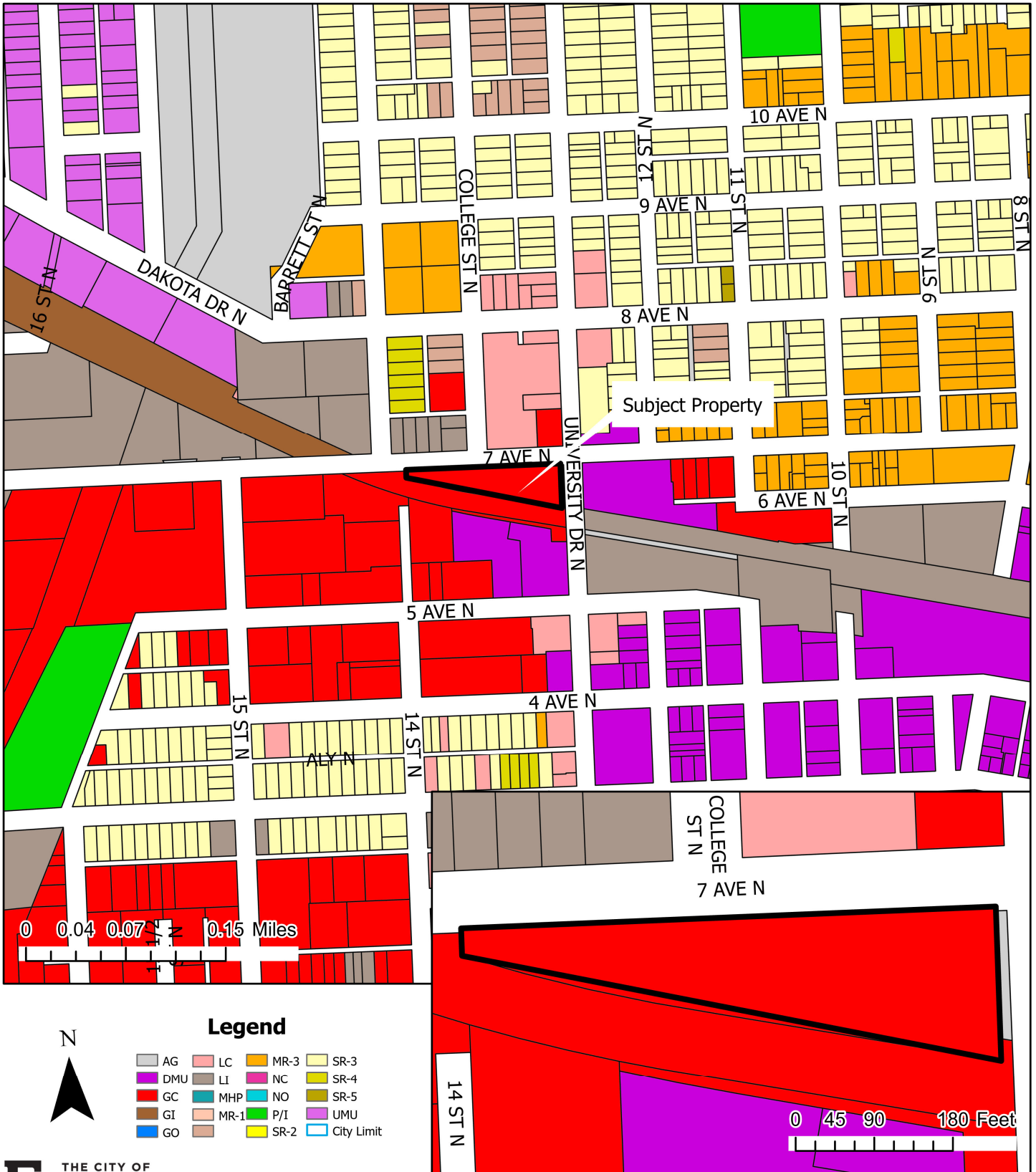
Attachments:

1. Zoning Map
2. Location Map
3. Preliminary Site Plan

CUP, Conditional Use Permit to allow manufacturing and production in the GC, General Commercial zoning district

Reeves Addition

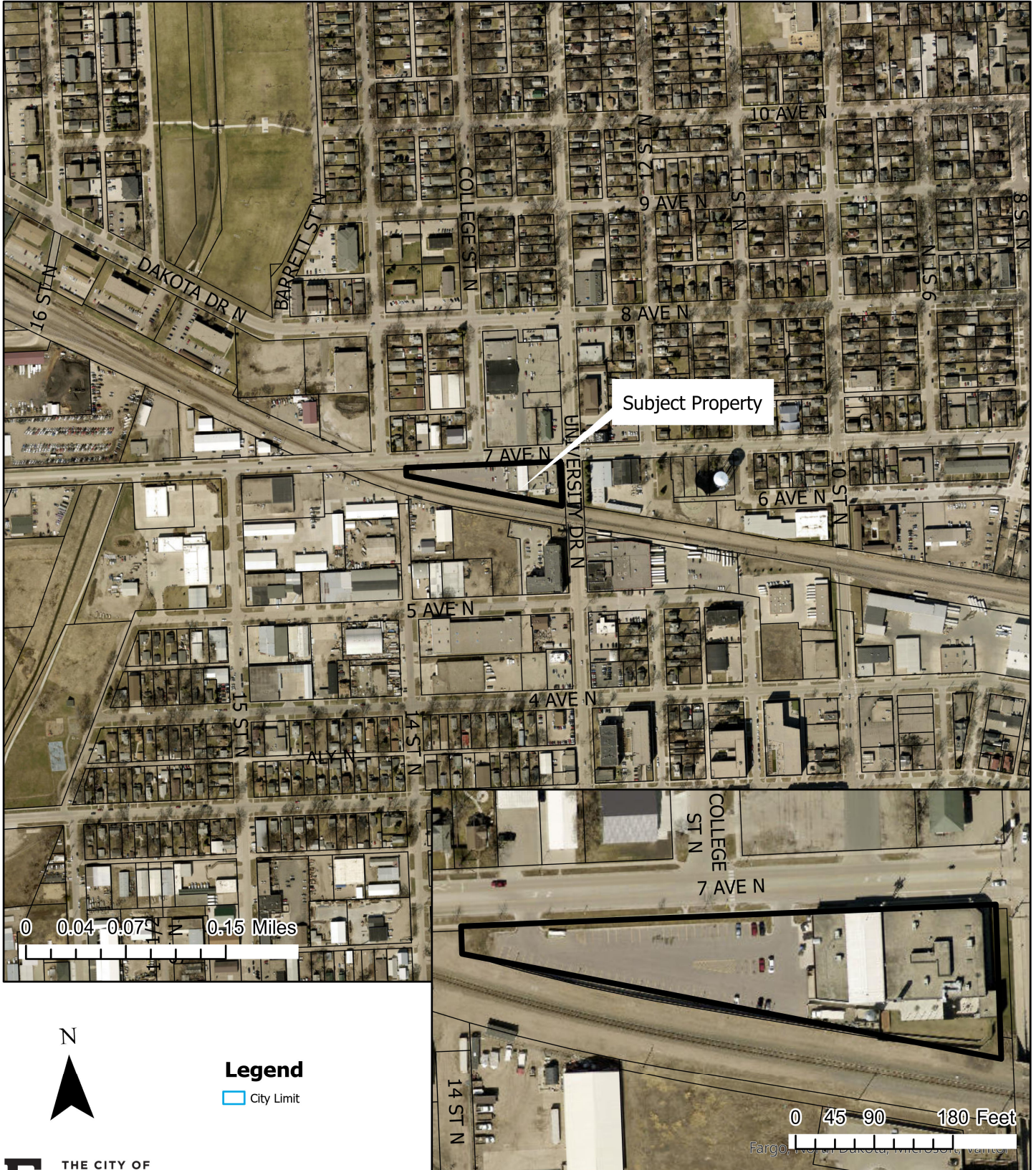
610 University Drive North



CUP, Conditional Use Permit to allow manufacturing and production in the GC, General Commercial zoning district

Reeves Addition

610 University Drive North



SITE PLAN



SHRUBS/TREES FOR SEPARATION

PARKING

PARKING

PARKING

LOADING ZONE

FENCED AREA FOR DUMPSTER

PATIOS AND GREENSPACE

600

City of Fargo Staff Report			
Title:	J & O 45th Street Apartments Addition	Date:	4/1/26
Location:	4410 & 4448 24 th Avenue South and 4409 & 4417 26 th Avenue South	Staff Contact:	Maegin Elshaug, planning coordinator
Legal Description:	Lots 2-5, Block 1, J & O 45 th Street Apartments Addition		
Owner(s)/Applicant:	J & O Real Estate LLC / Houston Engineering	Engineer:	n/a
Entitlements Requested:	Planned Unit Development Final Plan on Lots 2-5, Block 1, J & O 45 th Street Apartments Addition		
Status:	Planning Commission Review: April 7, 2026		

Existing	Proposed
Land Use: undeveloped	Land Use: multi-dwelling residential (apartments)
Zoning: GC, General Commercial with PUD, Planned Unit Development Overlay	Zoning: GC, General Commercial with PUD, Planned Unit Development Overlay
Uses Allowed: GC – General Commercial. Allows colleges, community service, daycare centers of unlimited size, detention facilities , health care facilities, parks and open space, religious institutions, safety services, adult establishment , offices, off-premise advertising , commercial parking, outdoor recreation and entertainment, retail sales and service, self-storage, vehicle repair , limited vehicle service, aviation , surface transportation , major entertainment events, industrial service , manufacturing and production , warehouse and freight movement , and portable signs . Plus an amended PUD allowing Residential use, building and design standard requirements and restricted uses (noted above)	Uses Allowed: unchanged
Maximum Density Allowed (Residential): The PUD allows a maximum of 40 units per acre	Maximum Density Allowed (Residential): unchanged

Proposal:
<p>The applicant requests three entitlements:</p> <ol style="list-style-type: none"> 1. Planned Unit Development Final Plan on Lots 2- 5, Block 1, J & O 45th Street Apartments Addition <p>Note that the applicant will also need to submit for building permits, where all review departments will review the plans for compliance with their respective codes. The Planning Commission is the decision-making body for PUD Final Plans.</p>

Surrounding Land Uses and Zoning Districts:

- North: Across 24th Avenue North is GC, General Commercial with C-O, Conditional Overlay and undeveloped;
- East: P/I and the remainder of the Anderson Softball Complex;
- South: LC, Limited Commercial and MR-2, Multi-Dwelling Residential with uses of commercial and apartments;
- West: Across 45th Street South is GC with commercial use.

Area Plans:

Fargo’s Growth Plan 2024 was adopted in August 2024. The placetype for the subject property is designated as Mixed Commercial, Office and Residential for this property and is consistent with the proposed development.

Context:

Neighborhood: Anderson Park

Schools: The subject property is located within the West Fargo School District, specifically within the Freedom Elementary, Liberty Middle and Sheyenne High schools.

Parks: The subject property is located adjacent to Anderson Softball Complex.

Pedestrian / Bicycle: A shared use facility is located on the east side of 45th Street South and connects to the metro area trail system. Additional sidewalks are proposed within the development, as well as a shared use path along the south side of the property.

Transit: MAT Bus Route 24 runs along 23rd Avenue South. A bus stop is located approximately two blocks east of 45th Street, located less than a quarter-mile from the subject property.

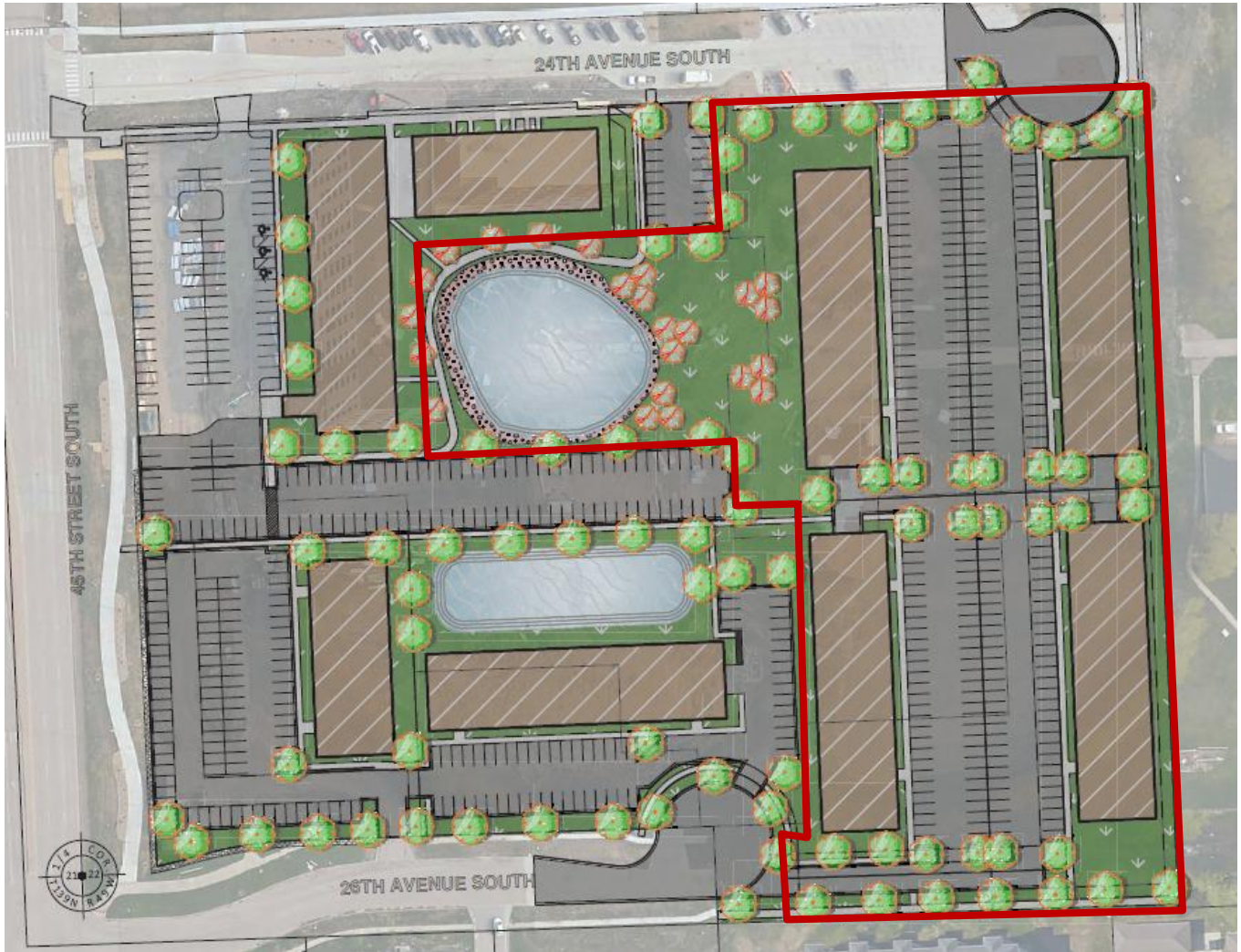
Staff Analysis:

Proposed Final Plan consistency with Master Land Use Plan

The graphic below provides a comparison of the master land use plan (next page) and the proposed final plan (following page). Findings evaluating the differences between the two plans are included on the following page. Copies of these plans are also attached.

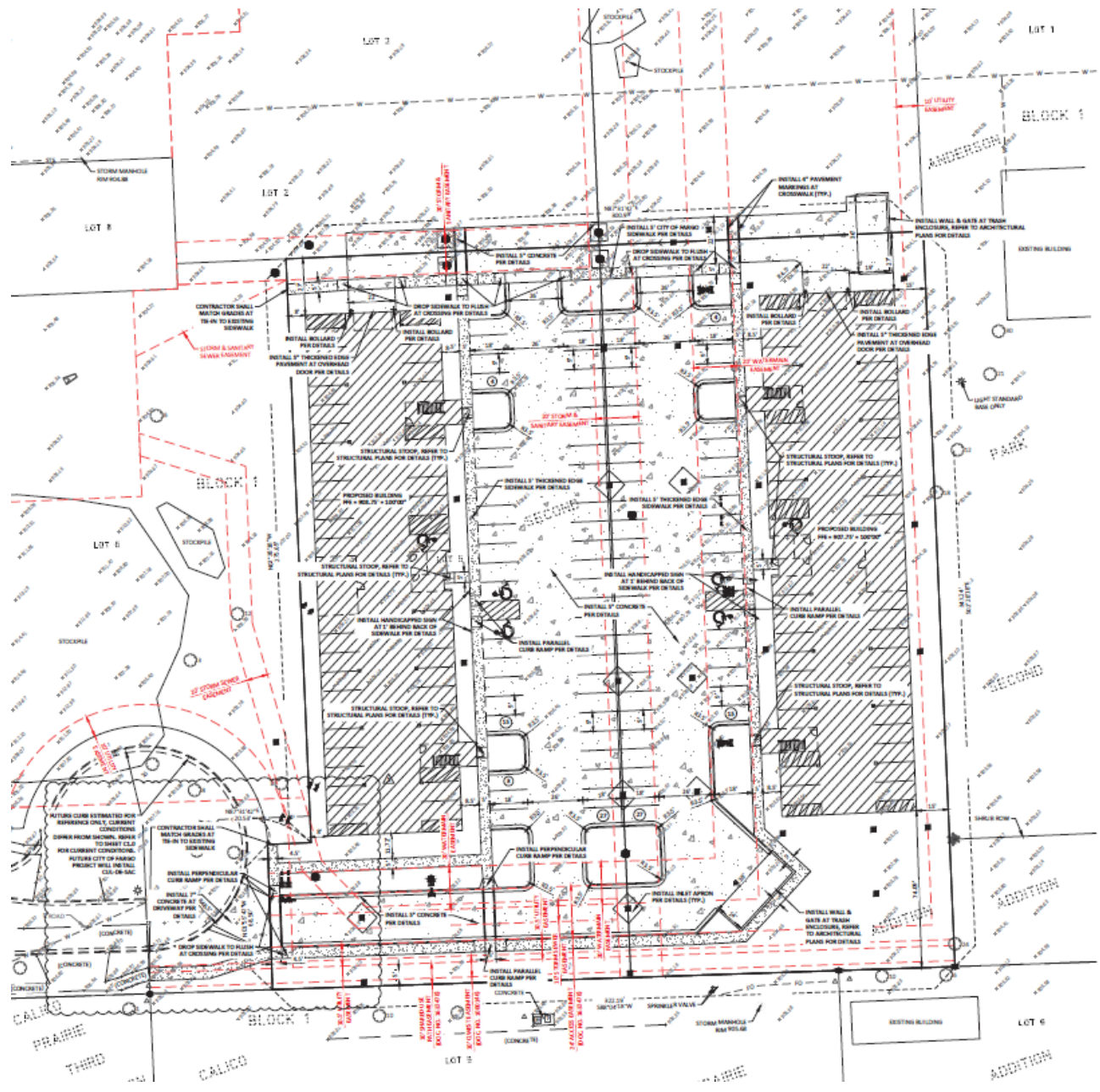
Continued on next page

Proposed PUD Master Land Use Plan



Continued next page

Proposed PUD Final Plan – South Side / 26th Ave S



PUD Final Plan Section 20-0908.D:

The LDC stipulates that the Planning Commission shall approve the PUD Final plan if it is determined to be in substantial compliance with the approved PUD Master Land Use Plan. The PUD Final Plan shall be deemed to be in compliance so long as, when compared with the PUD Master Land Use Plan, it does not result in:

- **An increase in project density or intensity, including the number of housing units per acre or the amount of nonresidential floor area per acre;**
There has been no change in project density or intensity. **(Criteria Satisfied)**
- **A change in the mix of housing types or the amount of land area devoted to nonresidential uses;**
There has been no change in the mix of housing types or the amount of land devoted to nonresidential uses. **(Criteria Satisfied)**
- **A reduction in the amount of open space;**
There has been no change in the amount of open space. **(Criteria Satisfied)**
- **Any change to the vehicular system that results in a significant change in the amount or location of streets, common parking areas, and access to the PUD;**
There has been no change to the vehicular circulation system. **(Criteria Satisfied)**
- **Any change within 50 feet of any SR or MR zoning district;**
There has been no change within 50 feet of any SR or MR zoning district. **(Criteria Satisfied)**
- **Any change determined by the Planning Commission to represent an increase in development intensity;**
There has been no increase in development intensity. **(Criteria Satisfied)**
- **A substantial change in the layout of buildings.**
There has been no change in the layout of the building. **(Criteria Satisfied)**

Staff Recommendation:

Suggested Motion: "To accept the findings and recommendations of staff and hereby approve the Planned Unit Development Final Plan for the proposed **J & O 45th Street Apartments Addition** as presented, as the proposal complies with the PUD Master Land Use Plan, Section 20-0908.D of the LDC, and all other requirements of the LDC."

Planning Commission Recommendation:

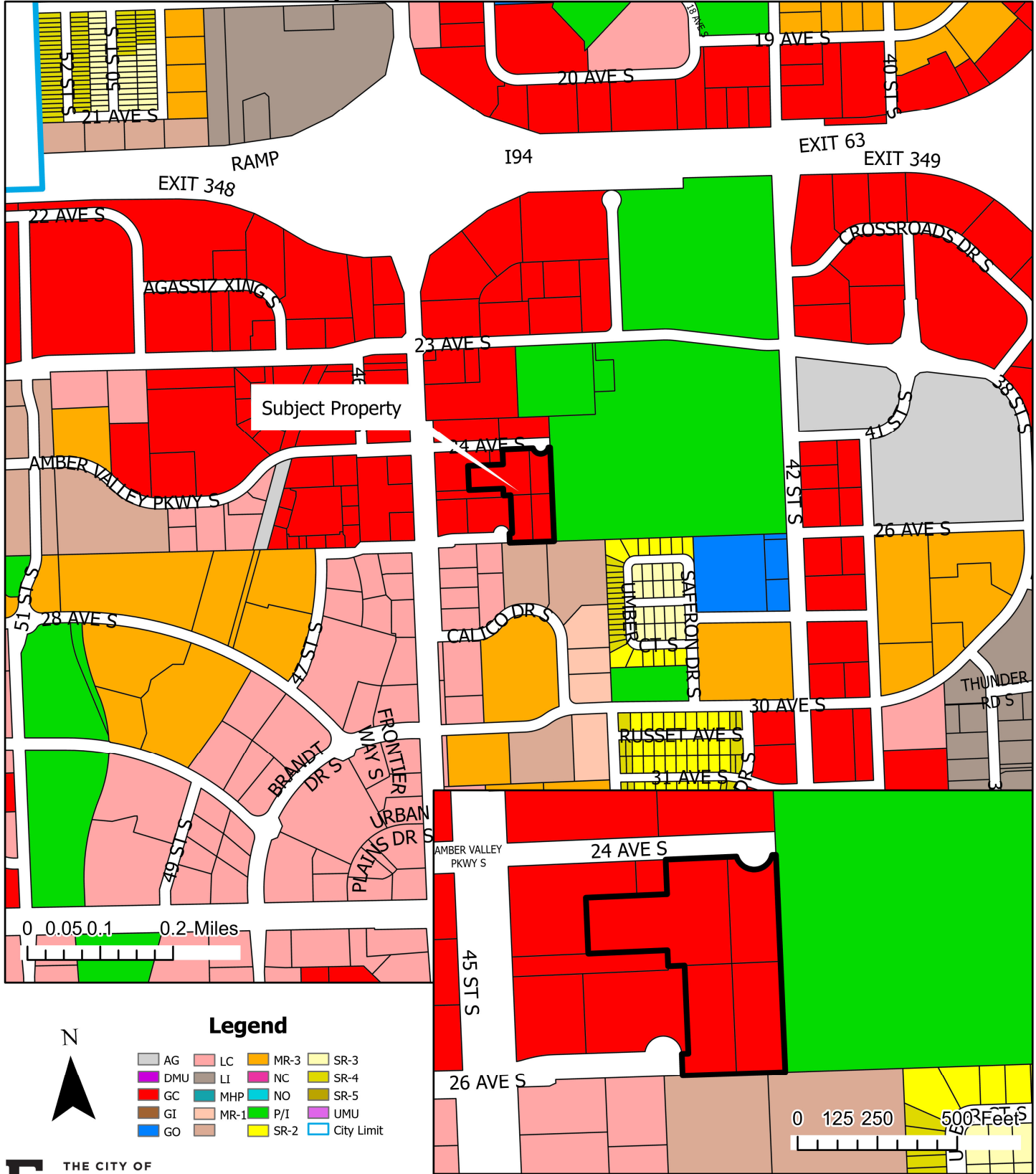
Attachments:

1. Zoning Map
2. Location Map
3. PUD Master Plan
4. PUD Final Plans
5. Elevation Plans

PUD, Planned Unit Development Final Plan

J & O 45th Street Apartments Addition

4410, 4448 24th Avenue South;
4409 and 4417 26th Avenue South



Legend

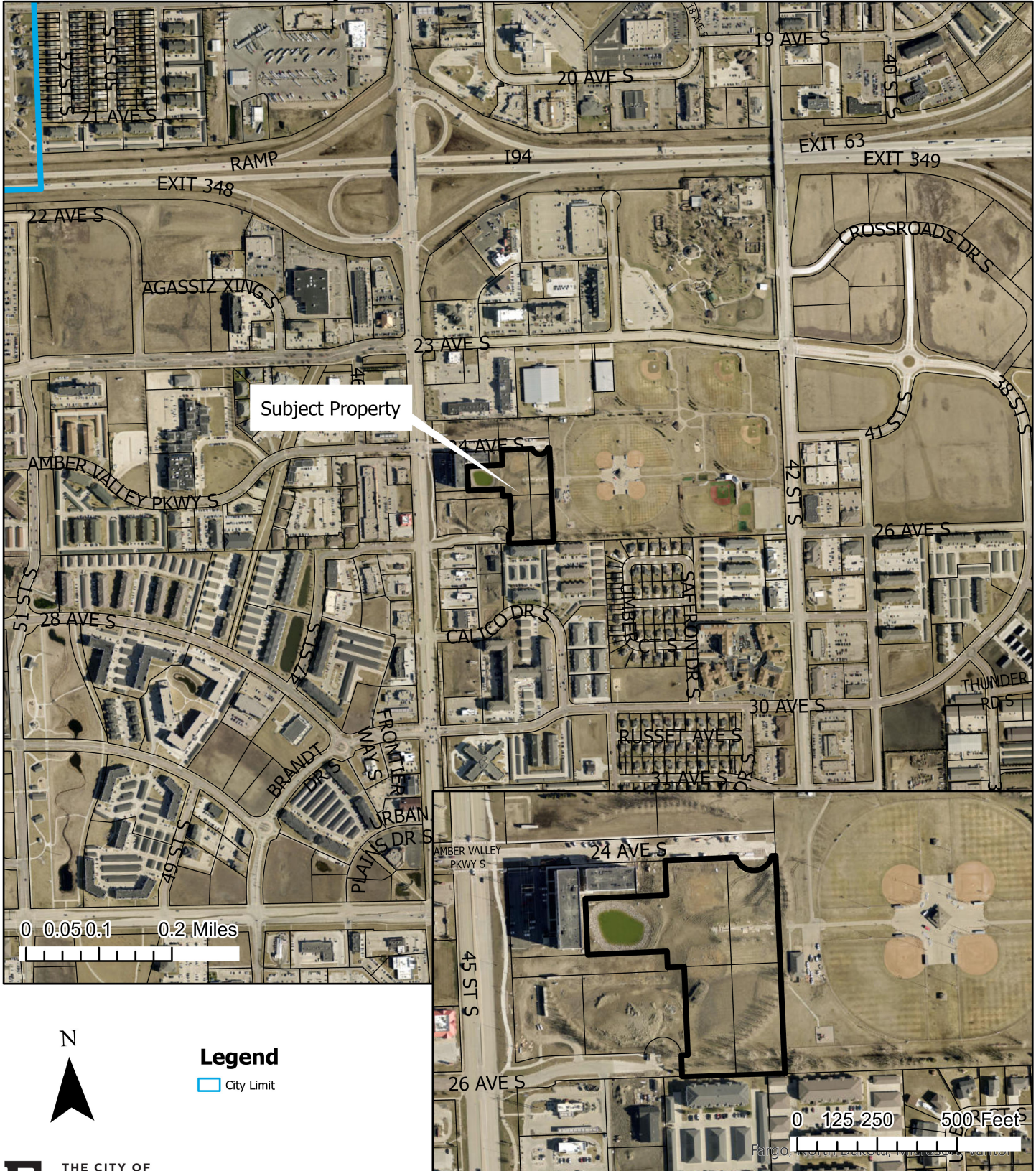
- | | | | |
|-----|------|------|------------|
| AG | LC | MR-3 | SR-3 |
| DMU | LI | NC | SR-4 |
| GC | MHP | NO | SR-5 |
| GI | MR-1 | P/I | UMU |
| GO | | SR-2 | City Limit |



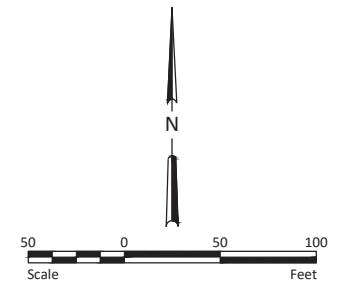
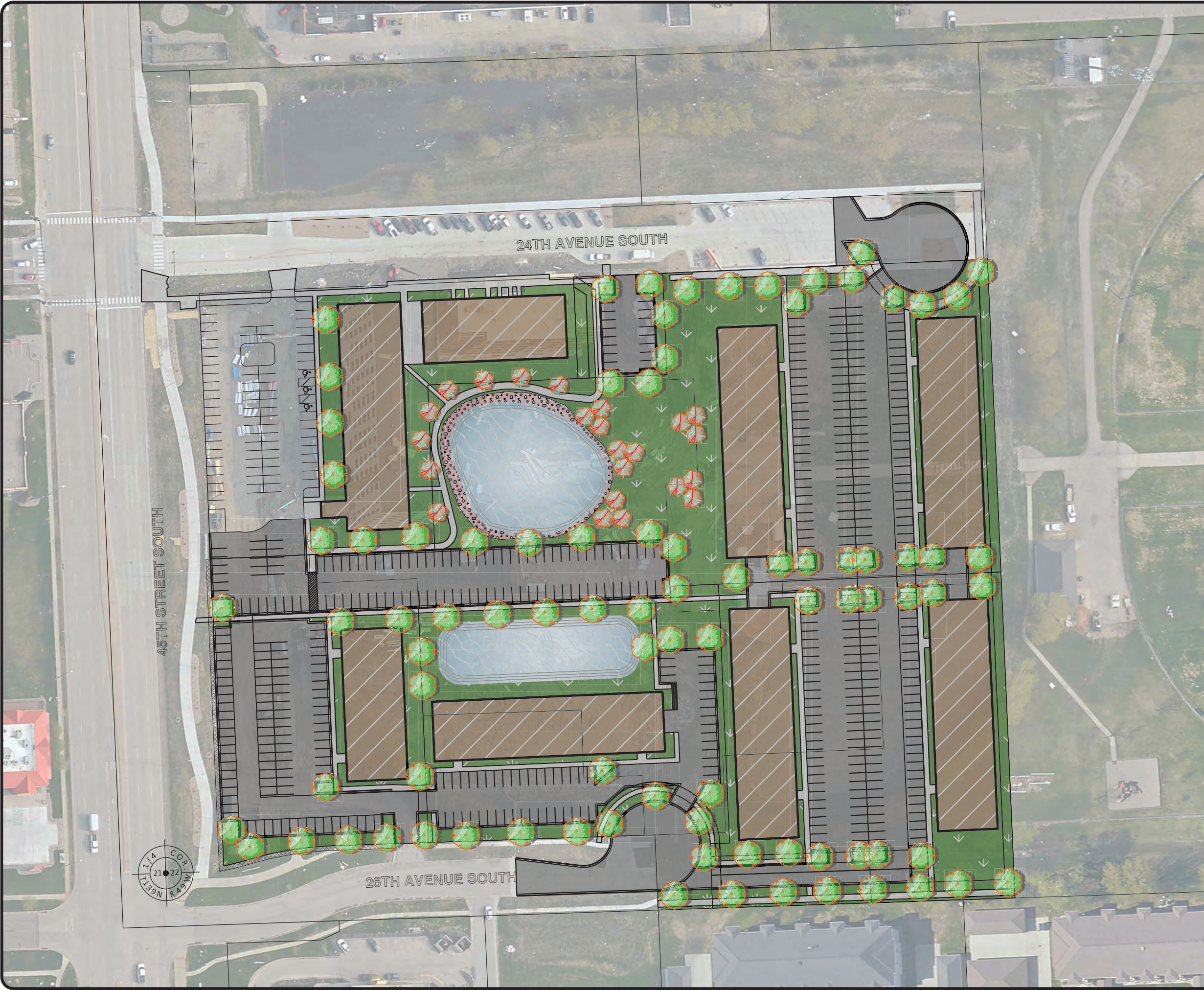
PUD, Planned Unit Development Final Plan

J & O 45th Street Apartments Addition

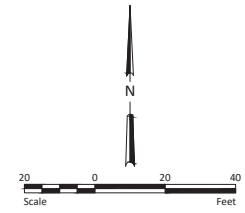
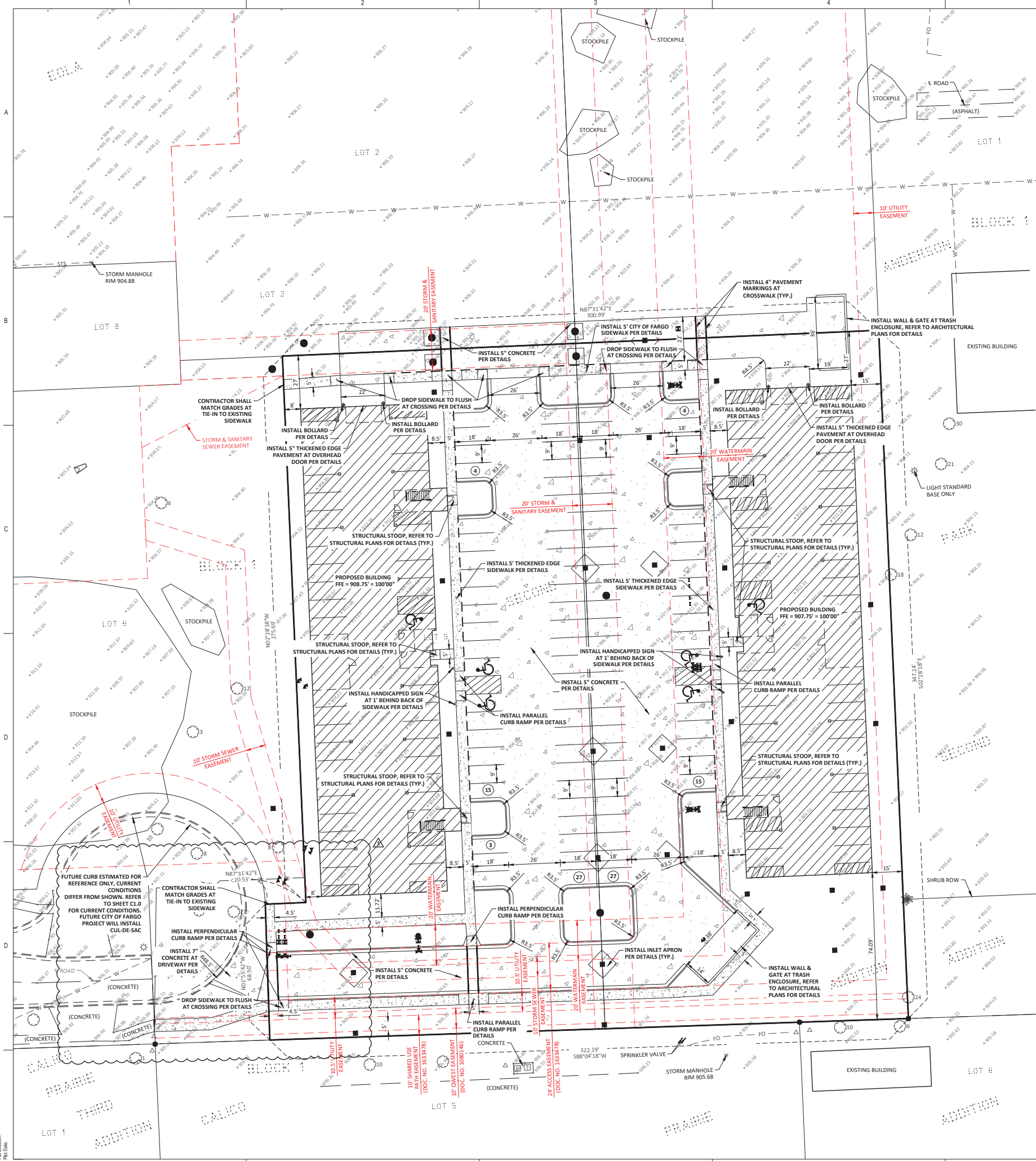
4410, 4448 24th Avenue South;
4409 and 4417 26th Avenue South



H:\JBA\7800\7824\7824_0071\CAD\Eng\PU Masterplan Option B_Color.dwg; Layout: 4/30/2025 9:34 AM; (bpattengale)



 HOUSTON engineering, inc.		Drawn By BTP
45TH STREET DEVELOPMENT 4477 26TH AVENUE SOUTH FARGO, NORTH DAKOTA		Checked By BTP
PUD MASTER PLAN		Date 04-30-25
		Scale As Shown
		Project No. 7824-0071
		SHEET 1
No.	Revision	Date
		By



LEGEND

	EXISTING	NEW
WATER MAIN	— W —	— W —
SANITARY SEWER MAIN	— SS —	— SS —
STORM SEWER MAIN	— STS —	— STS —
STORM INLET	○	○
SANITARY MANHOLE	○	○
STORM MANHOLE	○	○
UTILITY MANHOLE	○	○
FIRE HYDRANT	○	○
GATE VALVE	○	○
UTILITY POLE	○	○
W / GUY WIRE	—	—
LIGHT POLE	○	○
TELEPHONE RISER	○	○
ELECTRICAL BOX	○	○
GAS METER	○	○
TRANSFORMER	○	○
UNDERGROUND FIBER OPTIC	—	—
PROPERTY LINE & LABEL	—	—
CONIFEROUS TREE	○	○
DECIDUOUS TREE	○	○
SIGN	○	○
SPOT ELEVATION	○	○
STANDARD CURB & GUTTER	—	—
BUILDING	▨	▨
NEW 4" CONCRETE SIDEWALK	▨	▨
NEW 5" CONCRETE	▨	▨
THICKENED EDGE SIDEWALK	▨	▨
DRAINAGE DIRECTION	→	→

- PAVING NOTES:**
1. ALL WORK DONE IN THE RIGHT OF WAY SHALL CONFORM TO THE CITY OF FARGO STANDARD SPECIFICATIONS.
 2. ALL HANDICAPPED STALLS SHALL HAVE SIGNING INSTALLED PER DETAIL.
 3. HANDICAPPED STALLS SHALL BE STRIPED PER DETAIL.
 4. SLOPE IN HANDICAP LOADING/UNLOADING ZONES SHALL NOT EXCEED 2% CROSS SLOPE AND ON ANY HANDICAP ACCESSIBLE ROUTE SHALL NOT EXCEED 2%.
 5. ALL CURB RAMP SHALL HAVE DETECTABLE WARNING PANELS INSTALLED.
 6. ALL MANHOLES AND STORM SEWER INLETS LOCATED IN THE PAVEMENT SHALL HAVE CONCRETE COLLARS INSTALLED PER THE DETAILS.
 7. ALL DISTANCES SHOWN ARE TO BACK OF CURB.
 8. REMOVE AND REPLACE EXISTING PAVEMENT, CURB AND GUTTER, AND SIDEWALK AS NECESSARY TO INSTALL UTILITIES.
 9. ALL CURB AND GUTTER ON SITE SHALL BE OUTFLOW/INVERTED.
 10. EXCAVATION OR OTHER WORK IN THE RIGHT OF WAY SHALL REQUIRE A TRAFFIC CONTROL PLAN THAT MEETS ALL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REQUIREMENTS. THIS PLAN IS REQUIRED BEFORE ANY PERMITS TO WORK IN THE RIGHT OF WAY WILL BE ISSUED.

LOT INFORMATION:	APARTMENT LOT 5 COVERAGE INFORMATION:
ZONING = PUD	LOT AREA = 52,503 SF (1.21 ACRES)
LOT 4 AREA = 53,012 SF (1.22 ACRES)	TOTAL BUILDING AREA = 15,770 SF
LOT 5 AREA = 52,503 SF (1.21 ACRES)	TOTAL BUILDING COVERAGE = 30.04%
	IMPERVIOUS AREA = 40,024 SF
	IMPERVIOUS COVERAGE = 76.23%
	OPEN SPACE AREA = 14,325 SF
	OPEN SPACE COVERAGE = 27.30%
SETBACK REQUIREMENTS:	PARKING INFORMATION:
FRONT = 10'	PUD REQUIRED PARKING STALL RATIO = 2 SPACES/UNIT
INTERIOR SIDE = 5'	TOTAL BUILDING UNITS = 42 * (2 SPACES/UNIT) = 84 SPACES
STREET SIDE = 10'	TOTAL REQUIRED PARKING SPACES = 168 SPACES
REAR = 5'	TOTAL EXTERIOR STALLS = 05 (4 HANDICAPPED)
	TOTAL INTERIOR GARAGE STALLS = 84 STALLS (2 HANDICAPPED)
	TOTAL PARKING PROVIDED = 179 (6 HANDICAPPED)
APARTMENT LOT 4 COVERAGE INFORMATION:	
LOT AREA = 53,012 SF (1.22 ACRES)	
TOTAL BUILDING AREA = 15,770 SF	
TOTAL BUILDING COVERAGE = 29.75%	
IMPERVIOUS AREA = 36,604 SF	
IMPERVIOUS COVERAGE = 69.05%	
OPEN SPACE AREA = 17,833 SF	
OPEN SPACE COVERAGE = 33.64%	



RHET ARCHITECTURE
27 11th ST, N, FARGO, ND 58102
701.715.8232
WWW.RHET-ARCH.COM



PROJECT NAME:
45TH STREET APARTMENTS

GENERAL CONTRACTOR
MERIDIAN COMMERCIAL CONSTRUCTION, LLC

ATTN: MARK JAMES
6218 53rd AVE. S.
FARGO, ND 58104

PHONE: 701-255-0397
EMAIL: mark@mccfargo.com

MARK DESCRIPTION	DATE
LOT INFO CHANGES	05-12-2026
REVISION SCHEDULE	

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PROJECT NO: 25-111901
DRAWN BY: RLA
CHECKED BY: CJM
DRAWING TITLE: PAVING PLAN

C500



4 SOUTH ELEVATION
A401
1/8" = 1'-0"



3 NORTH ELEVATION
A401
1/8" = 1'-0"

GROUND FLOOR FACADE
240' LENGTH
72' (MIN) = 30% ARCADES, WINDOWS, AWNINGS
141'-3" (PROVIDED) = 59% ARCADES, WINDOWS, AWNINGS

VARIED MATERIAL PALETTE
REQUIRED ON FACADES OVER 150' IN LENGTH
FRONT FACADE: 240' LONG (11,013 SF)
EIFS BRICK: 2,293 / 11,013 = 20%
BOARD & BATTEN (COLOR 1): 2,966 / 11,013 = 28%
BOARD & BATTEN (COLOR 2): 1,052 / 11,013 = 10%
BOARD & BATTEN (COLOR 3): 261 / 11,013 = 2%
METAL SIDING: 4,013 / 11,013 = 40%
REAR FACADE: 240' LONG (11,013 SF)
EIFS BRICK: 2,833 / 11,013 = 28%
BOARD & BATTEN (COLOR 1): 1,893 / 11,013 = 17%
BOARD & BATTEN (COLOR 2): 1,893 / 11,013 = 17%
METAL SIDING: 4,394 / 11,013 = 40%

MATERIAL PALETTE RELATION
EXISTING MATERIALS (EOLA BUILDING)
STONE/MASONRY TEXTURE
NEUTRAL EARTH & GRAY TONES
MIX OF LIGHT & DARK COLORS
BURGUNDY ACCENTS
NEW APARTMENTS (PROPOSED)
MASONRY TEXTURE
NEUTRAL EARTH & GRAY TONES
MIX OF LIGHT & DARK COLORS
BURGUNDY ACCENTS

GENERAL ELEVATION NOTES:
1. MECHANICAL LOUVERS AND EXHAUST VENTS PAINT TO MATCH COLOR OF ADJACENT SIDING
2. GABLE LOUVER VENTS TO BE PAINTED WHITE
3. SEE CIVIL FOR GRADING
4. SEE STRUCTURAL FOR FOOTING DEPTH, SIZE, & LOCATION
5. SEE FLOOR PLANS FOR WINDOW TAGS

TYPICAL MATERIALS
EIFS BRICK
BASIS FOR DESIGN: DRYVIT - NEWBRICK
INSTALLATION: 1/2" RUNNING BOND
COLOR: GATEHOUSE
METAL BOARD & BATTEN SIDING (COLOR 1)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: WHITE
METAL BOARD & BATTEN SIDING (COLOR 2)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: CARBON
METAL BOARD & BATTEN SIDING (COLOR 3)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: BRICK
HORIZONTAL METAL SIDING
BASIS FOR DESIGN: 6" DUTCH LAP BY EMCO (26 GA.)
COLOR: CHARCOAL
ROOF: LANDMARK PRO SHINGLES
FASCIA: PRE-FIN. MTL. - WHITE
SOFFIT: PRE-FIN. MTL. - VENTED
FRIEZE: PRE-FIN. MTL. - WHITE
GUTTER: PRE-FIN. MTL. - WHITE
GARAGE DOOR: PRE-FIN. MTL. - WHITE
MECH. VENT: PRE-FIN. MTL. - WHITE



2 WEST ELEVATION
A401
1/8" = 1'-0"



1 EAST ELEVATION
A401
1/8" = 1'-0"

INCLUDE BUILDING ADDRESS NUMBERING (4477) NEAR FRONT DOOR
ADDRESS CHARACTERS MUST BE A MINIMUM OF 4" IN HEIGHT WITH A MINIMUM OF 1/2" STROKE WIDTH

RHET ARCHITECTURE

RHET ARCHITECTURE
27 11th ST. N. FARGO, ND 58102
701.715.8232
WWW.RHET-ARCH.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of North Dakota.

Signature: *Rhet Hekkes*

Date: 01/07/2026 REG. NO.: 1811

PROJECT NAME:
45TH STREET APARTMENTS #3
4477 26th AVE S, FARGO, ND 58104

GENERAL CONTRACTOR
MERIDIAN COMMERCIAL CONSTRUCTION, LLC
ATTN: MARK JANES
6218 53rd AVE. S.
FARGO, ND 58104
PHONE: 701-356-0397
EMAIL: mark@mccfargo.com

CD	CONSTRUCTION DOCUMENTS	01/07/2026
MARK	DESCRIPTION	DATE
REVISION SCHEDULE		

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PROJECT NO.: 25-111901
DRAWN BY: MA
CHECKED BY: RF
DRAWING TITLE:
EXTERIOR ELEVATIONS

A401

File Location: C:\Users\mitch\Documents\Meridian-Eola Apartments (25-111901)_BUILDING_3_arch\A401.rvt
Plot Date: 1/6/2026 9:22:04 AM



4 SOUTH ELEVATION
A401 1/8" = 1'-0"



3 NORTH ELEVATION
A401 1/8" = 1'-0"

GROUND FLOOR FACADE
240' LENGTH
72' (MIN) = 30% ARCADES, WINDOWS, AWNINGS
141'-3" (PROVIDED) = 59% ARCADES, WINDOWS, AWNINGS

VARIED MATERIAL PALETTE
REQUIRED ON FACADES OVER 150' IN LENGTH
FRONT FACADE: 240' LONG (11,013 SF)
EIFS BRICK: 2,293 / 11,013 = 20%
BOARD & BATTEN (COLOR 1): 2,966 / 11,013 = 28%
BOARD & BATTEN (COLOR 2): 1,052 / 11,013 = 10%
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METAL SIDING: 4,013 / 11,013 = 40%
REAR FACADE: 240' LONG (11,013 SF)
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MATERIAL PALETTE RELATION
EXISTING MATERIALS (EOLA BUILDING)
STONE/MASONRY TEXTURE
NEUTRAL EARTH & GRAY TONES
MIX OF LIGHT & DARK COLORS
BURGUNDY ACCENTS
NEW APARTMENTS (PROPOSED)
MASONRY TEXTURE
NEUTRAL EARTH & GRAY TONES
MIX OF LIGHT & DARK COLORS
BURGUNDY ACCENTS

GENERAL ELEVATION NOTES:
1. MECHANICAL LOUVERS AND EXHAUST VENTS PAINT TO MATCH COLOR OF ADJACENT SIDING
2. GABLE LOUVER VENTS TO BE PAINTED WHITE
3. SEE CIVIL FOR GRADING
4. SEE STRUCTURAL FOR FOOTING DEPTH, SIZE, & LOCATION
5. SEE FLOOR PLANS FOR WINDOW TAGS

TYPICAL MATERIALS
EIFS BRICK
BASIS FOR DESIGN: DRYVIT - NEWBRICK
INSTALLATION: 1/2" RUNNING BOND
COLOR: GATEHOUSE
METAL BOARD & BATTEN SIDING (COLOR 1)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: WHITE
METAL BOARD & BATTEN SIDING (COLOR 2)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: CARBON
METAL BOARD & BATTEN SIDING (COLOR 3)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: BRICK
HORIZONTAL METAL SIDING
BASIS FOR DESIGN: 6" DUTCH LAP BY EMCO (26 GA.)
COLOR: CHARCOAL
ROOF: LANDMARK PRO SHINGLES COLOR: DRIFTWOOD
FASCIA: PRE-FIN. MTL. WHITE
SOFFIT: PRE-FIN. MTL. - VENTED WHITE
FRIEZE: PRE-FIN. MTL. WHITE
GUTTER: PRE-FIN. MTL. WHITE
GARAGE DOOR: PRE-FIN. MTL. WHITE
MECH VENT: PRE-FIN. MTL. WHITE



2 WEST ELEVATION
A401 1/8" = 1'-0"



1 EAST ELEVATION
A401 1/8" = 1'-0"

INCLUDE BUILDING ADDRESS NUMBERING (4477) NEAR FRONT DOOR ADDRESS CHARACTERS MUST BE A MINIMUM OF 4" IN HEIGHT WITH A MINIMUM OF 1/2" STROKE WIDTH

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of North Dakota.

Signature: *Mark Janes*

Date: 01/07/2026 REG. NO.: 1811

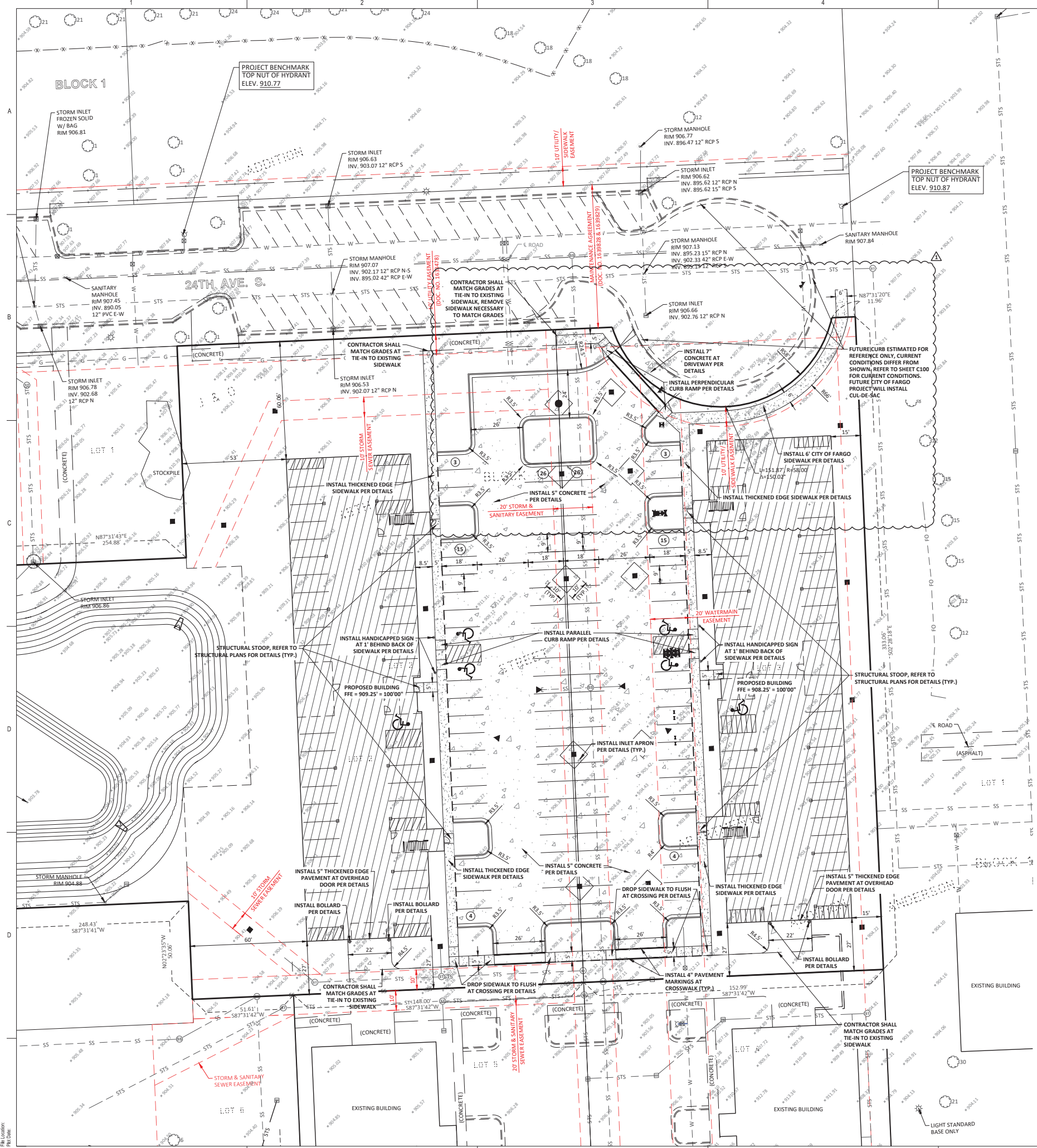
PROJECT NAME:
45TH STREET APARTMENTS #2
4477 26th AVE S, FARGO, ND 58104

GENERAL CONTRACTOR
MERIDIAN COMMERCIAL CONSTRUCTION, LLC
ATTN: MARK JANES
6218 53rd AVE. S.
FARGO, ND 58104
PHONE: 701-356-0397
EMAIL: mark@mccfargo.com

CD	CONSTRUCTION DOCUMENTS	01/07/2026
MARK	DESCRIPTION	DATE
REVISION SCHEDULE		

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PROJECT NO.: 25-111901
DRAWN BY: MA
CHECKED BY: RF
DRAWING TITLE:
EXTERIOR ELEVATIONS



LEGEND

	EXISTING	NEW
WATER MAIN	W	W
SANITARY SEWER MAIN	SS	SS
STORM SEWER MAIN	STS	STS
STORM INLET	○	○
SANITARY MANHOLE	○	○
STORM MANHOLE	○	○
UTILITY MANHOLE	○	○
FIRE HYDRANT	○	○
GATE VALVE	○	○
UTILITY POLE	○	○
W / GUY WIRE	—	—
LIGHT POLE	○	○
TELEPHONE RISER	○	○
ELECTRICAL BOX	○	○
GAS METER	○	○
TRANSFORMER	○	○
UNDERGROUND FIBER OPTIC	—	—
PROPERTY LINE & LABEL	N89°10'37"E 1.84'	
CONIFEROUS TREE	⊛	
DECIDUOUS TREE	⊙	
SIGN	⊙	
SPOT ELEVATION	▲	
STANDARD CURB & GUTTER	—	—
BUILDING	▭	▭
NEW 4" CONCRETE SIDEWALK		▭
NEW 5" CONCRETE		▭
THICKENED EDGE SIDEWALK		▭
DRAINAGE DIRECTION	→	→

- PAVING NOTES:**
1. ALL WORK DONE IN THE RIGHT OF WAY SHALL CONFORM TO THE CITY OF FARGO STANDARD SPECIFICATIONS.
 2. ALL HANDICAPPED STALLS SHALL HAVE SIGNING INSTALLED PER DETAIL.
 3. HANDICAPPED STALLS SHALL BE STRIPED PER DETAIL.
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 5. ALL CURB RAMPS SHALL HAVE DETECTABLE WARNING PANELS INSTALLED.
 6. ALL MANHOLES AND STORM SEWER INLETS LOCATED IN THE PAVEMENT SHALL HAVE CONCRETE COLLARS INSTALLED PER THE DETAILS.
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<p>LOT INFORMATION:</p> <p>ZONING = PUD</p> <p>LOT 2 AREA = 109,237 SF (2.51 ACRES)</p> <p>LOT 3 AREA = 47,390 SF (1.09 ACRES)</p> <p>SETBACK REQUIREMENTS:</p> <p>FRONT = 10'</p> <p>INTERIOR SIDE = 5'</p> <p>STREET SIDE = 10'</p> <p>REAR = 5'</p> <p>APARTMENT LOT 2 COVERAGE INFORMATION:</p> <p>LOT AREA = 109,237 SF (2.51 ACRES)</p> <p>TOTAL BUILDING AREA = 15,770 SF</p> <p>TOTAL BUILDING COVERAGE = 14.44%</p> <p>IMPERVIOUS AREA = 53,907 SF</p> <p>IMPERVIOUS COVERAGE = 49.35%</p> <p>OPEN SPACE AREA = 60,645 SF</p> <p>OPEN SPACE COVERAGE = 55.51%</p>	<p>APARTMENT LOT 3 COVERAGE INFORMATION:</p> <p>LOT AREA = 47,390 SF (1.09 ACRES)</p> <p>TOTAL BUILDING AREA = 15,770 SF</p> <p>TOTAL BUILDING COVERAGE = 33.28%</p> <p>IMPERVIOUS AREA = 36,303 SF</p> <p>IMPERVIOUS COVERAGE = 76.60%</p> <p>OPEN SPACE AREA = 13,274 SF</p> <p>OPEN SPACE COVERAGE = 28.01%</p> <p>PARKING INFORMATION:</p> <p>PUD REQUIRED PARKING STALL RATIO = 2 SPACES/UNIT</p> <p>TOTAL BUILDING UNITS = 42 * (2 SPACES/UNIT) = 84 SPACES</p> <p>TOTAL REQUIRED PARKING SPACES = 168 SPACES</p> <p>TOTAL EXTERIOR STALLS = 96 (4 HANDICAPPED)</p> <p>TOTAL INTERIOR GARAGE STALLS = 84 STALLS (2 HANDICAPPED)</p> <p>TOTAL PARKING PROVIDED = 180 (6 HANDICAPPED)</p>
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RHET ARCHITECTURE
 RHET ARCHITECTURE
 27 11th ST, N, FARGO, ND 58102
 701.715.8232
 WWW.RHET-ARCH.COM



PROJECT NAME:
45TH STREET APARTMENT BUILDINGS 4 & 5

GENERAL CONTRACTOR
MERIDIAN COMMERCIAL CONSTRUCTION, LLC
 ATTN: MARK JANES
 6218 53rd AVE. S.
 FARGO, ND 58104
 PHONE: 701-266-0397
 EMAIL: mark@mccfargo.com

MARK DESCRIPTION	DATE
LOT INFO PAVING CHANGES	05-12-2026
REVISION SCHEDULE	

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PROJECT NO: 25-111901
 DRAWN BY: RLA
 CHECKED BY: BTP
 DRAWING TITLE: PAVING PLAN

C500



4 NORTH ELEVATION
A401 1/8" = 1'-0"



3 SOUTH ELEVATION
A401 1/8" = 1'-0"

GROUND FLOOR FACADE
240' LENGTH
72' (MIN) = 30% ARCADES, WINDOWS, AWNINGS
141'-3" (PROVIDED) = 59% ARCADES, WINDOWS, AWNINGS

VARIED MATERIAL PALETTE
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BOARD & BATTEN (COLOR 3): 261 / 11,013 = 2%
METAL SIDING: 4,013 / 11,013 = 40%
REAR FACADE: 240' LONG (11,013 SF)
EIFS BRICK: 2,833 / 11,013 = 28%
BOARD & BATTEN (COLOR 1): 1,893 / 11,013 = 17%
BOARD & BATTEN (COLOR 2): 1,893 / 11,013 = 17%
METAL SIDING: 4,394 / 11,013 = 40%

MATERIAL PALETTE RELATION
EXISTING MATERIALS (EOLA BUILDING)
STONE/MASONRY TEXTURE
NEUTRAL EARTH & GRAY TONES
MIX OF LIGHT & DARK COLORS
BURGUNDY ACCENTS
NEW APARTMENTS (PROPOSED)
MASONRY TEXTURE
NEUTRAL EARTH & GRAY TONES
MIX OF LIGHT & DARK COLORS
BURGUNDY ACCENTS

GENERAL ELEVATION NOTES:
1. MECHANICAL LOUVERS AND EXHAUST VENTS PAINT TO MATCH COLOR OF ADJACENT SIDING
2. GABLE LOUVER VENTS TO BE PAINTED WHITE
3. SEE CIVIL FOR GRADING
4. SEE STRUCTURAL FOR FOOTING DEPTH, SIZE, & LOCATION
5. SEE FLOOR PLANS FOR WINDOW TAGS

TYPICAL MATERIALS
EIFS BRICK
BASIS FOR DESIGN: DRYVIT - NEWBRICK
INSTALLATION: 1/2" RUNNING BOND
COLOR: GATEHOUSE
METAL BOARD & BATTEN SIDING (COLOR 1)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: WHITE
METAL BOARD & BATTEN SIDING (COLOR 2)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: CARBON
METAL BOARD & BATTEN SIDING (COLOR 3)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: BRICK
HORIZONTAL METAL SIDING
BASIS FOR DESIGN: 6" DUTCH LAP BY EMCO (26 GA.)
COLOR: CHARCOAL
ROOF: MATERIAL LANDMARK PRO SHINGLES COLOR DRIFTWOOD
FASCIA: PRE-FIN. MTL. WHITE
SOFFIT: PRE-FIN. MTL. - VENTED WHITE
FRIEZE: PRE-FIN. MTL. WHITE
GUTTER: PRE-FIN. MTL. WHITE
GARAGE DOOR: PRE-FIN. MTL. WHITE
MECH VENT: PRE-FIN. MTL. WHITE



2 EAST ELEVATION
A401 1/8" = 1'-0"



1 WEST ELEVATION
A401 1/8" = 1'-0"

INCLUDE BUILDING ADDRESS NUMBERING (4477) NEAR FRONT DOOR
ADDRESS CHARACTERS MUST BE A MINIMUM OF 4" IN HEIGHT WITH A MINIMUM OF 1/2" STROKE WIDTH

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of North Dakota.

Signature: *Mark Janes*
Date: 02/20/2026 REG. NO.: 1811

PROJECT NAME:
45TH STREET APARTMENTS #4
4477 26th AVE S, FARGO, ND 58104

GENERAL CONTRACTOR
MERIDIAN COMMERCIAL CONSTRUCTION, LLC
ATTN: MARK JANES
6218 53rd AVE. S.
FARGO, ND 58104
PHONE: 701-356-0397
EMAIL: mark@mccfargo.com

REVISION #1	DATE
CD CONSTRUCTION DOCUMENTS	02/20/2026
MARK DESCRIPTION	DATE

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PROJECT NO.: 25-111901
DRAWN BY: MA
CHECKED BY: RF
DRAWING TITLE:
EXTERIOR ELEVATIONS



4 NORTH ELEVATION
A401 1/8" = 1'-0"



3 SOUTH ELEVATION
A401 1/8" = 1'-0"

GROUND FLOOR FACADE
240' LENGTH
72' (MIN) = 30% ARCADES, WINDOWS, AWNINGS
141'-3" (PROVIDED) = 59% ARCADES, WINDOWS, AWNINGS

VARIED MATERIAL PALETTE
REQUIRED ON FACADES OVER 150' IN LENGTH
FRONT FACADE: 240' LONG (11,013 SF)
EIFS BRICK: 2,293 / 11,013 = 20%
BOARD & BATTEN (COLOR 1): 2,966 / 11,013 = 28%
BOARD & BATTEN (COLOR 2): 1,052 / 11,013 = 10%
BOARD & BATTEN (COLOR 3): 261 / 11,013 = 2%
METAL SIDING: 4,013 / 11,013 = 40%
REAR FACADE: 240' LONG (11,013 SF)
EIFS BRICK: 2,833 / 11,013 = 28%
BOARD & BATTEN (COLOR 1): 1,893 / 11,013 = 17%
BOARD & BATTEN (COLOR 2): 1,893 / 11,013 = 17%
METAL SIDING: 4,394 / 11,013 = 40%

MATERIAL PALETTE RELATION
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STONE/MASONRY TEXTURE
NEUTRAL EARTH & GRAY TONES
MIX OF LIGHT & DARK COLORS
BURGUNDY ACCENTS
NEW APARTMENTS (PROPOSED)
MASONRY TEXTURE
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GENERAL ELEVATION NOTES:
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3. SEE CIVIL FOR GRADING
4. SEE STRUCTURAL FOR FOOTING DEPTH, SIZE, & LOCATION
5. SEE FLOOR PLANS FOR WINDOW TAGS

TYPICAL MATERIALS
EIFS BRICK
BASIS FOR DESIGN: DRYVIT - NEWBRICK
INSTALLATION: 1/2" RUNNING BOND
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METAL BOARD & BATTEN SIDING (COLOR 1)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: WHITE
METAL BOARD & BATTEN SIDING (COLOR 2)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: CARBON
METAL BOARD & BATTEN SIDING (COLOR 3)
BASIS FOR DESIGN: 10" BOARD & BATTEN BY EMCO (26 GA.)
COLOR: BRICK
HORIZONTAL METAL SIDING
BASIS FOR DESIGN: 6" DUTCH LAP BY EMCO (26 GA.)
COLOR: CHARCOAL
ROOF: MATERIAL LANDMARK PRO SHINGLES COLOR DRIFTWOOD
FASCIA: PRE-FIN MTL. WHITE
SOFFIT: PRE-FIN MTL. - VENTED WHITE
FRIEZE: PRE-FIN MTL. WHITE
GUTTER: PRE-FIN MTL. WHITE
GARAGE DOOR: PRE-FIN MTL. WHITE
MECH VENT: PRE-FIN MTL. WHITE



1 EAST ELEVATION
A401 1/8" = 1'-0"



RHET ARCHITECTURE
27 11th ST. N. FARGO, ND 58102
701.715.8232
WWW.RHET-ARCH.COM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of North Dakota.

Signature: *Mark Janes*
Date: 01/07/2026 REG. NO.: 1811

PROJECT NAME:
45TH STREET APARTMENTS #5
4477 26th AVE S, FARGO, ND 58104

GENERAL CONTRACTOR
MERIDIAN COMMERCIAL CONSTRUCTION, LLC
ATTN: MARK JANES
6218 53rd AVE. S.
FARGO, ND 58104
PHONE: 701-356-0397
EMAIL: mark@mccfargo.com

CD	CONSTRUCTION DOCUMENTS	01/07/2026
MARK	DESCRIPTION	DATE
REVISION SCHEDULE		

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PROJECT NO.: 25-111901
DRAWN BY: MA
CHECKED BY: RF
DRAWING TITLE:
EXTERIOR ELEVATIONS

A401

File Location: \\10.50.50.10\Network\GOOGLE DRIVE\PROJECTS\25-111901-Meridian-Eola Apartments\REV\BUILDING 5\Meridian-Eola Apartments (25-111901)_BUILDING 5_NEW.rvt
Plot Date: 3/12/2026 8:21:51 AM

INCLUDE BUILDING ADDRESS NUMBERING (4477) NEAR FRONT DOOR ADDRESS CHARACTERS MUST BE A MINIMUM OF 4" IN HEIGHT WITH A MINIMUM OF 1/2" STROKE WIDTH